

**TULSA METROPOLITAN AREA PLANNING  
COMMISSION**

**Meeting No. 2775**

**August 1, 2018, 1:30 PM**

**175 East 2<sup>nd</sup> Street, 2<sup>nd</sup> Level, One Technology Center  
Tulsa City Council Chamber**

**CONSIDER, DISCUSS AND/OR TAKE ACTION ON:**

Call to Order:

**REPORTS:**

**Chairman's Report:**

**Work session Report:**

**Director's Report:**

1. Minutes of July 18, 2018, Meeting No. 2774
2. Amend the minutes of April 4, 2018, Meeting No. 2767 to correct Legal Description on Z-7432

**CONSENT AGENDA:**

**All matters under "Consent" are considered by the Planning Commission to be routine and will be enacted by one motion. Any Planning Commission member may, however, remove an item by request.**

None

**PUBLIC HEARINGS:**

3. **CPA-73**, Consider adoption of amendments to the **Major Street and Highway Plan**
4. **Cherokee Extension Industrial Park** (County) Preliminary Plat, Location: Southeast corner of East 76<sup>th</sup> Street North and North Sheridan Road

5. **Specific System** (CD 5) Preliminary Plat, Location: West of the northwest corner of East 41<sup>st</sup> Street South and South 79<sup>th</sup> East Avenue
6. **PUD-757-A Stuart Van De Wiele** (CD 4) Location: North of the northwest corner of South Norfolk Avenue and East 15<sup>th</sup> Street South requesting a **PUD Major Amendment** to change development standards to original PUD
7. **Z-7448 Lou Reynolds** (CD 3) Location: South and east of the southeast corner of East Pine Street and North Mingo Road requesting rezoning from **AG to IL**
8. **Z-7449 KKT Architects, Inc., Nicole Watts** (CD 6) Location: Southwest corner of East 31<sup>st</sup> Street South and South 120<sup>th</sup> East Place requesting rezoning from **AG to OL**
9. **Z-7450 Ted Sack** (CD 4) Location: Northeast corner of South Lewis Avenue and East 6<sup>th</sup> Street South requesting rezoning from **RM-2/CS to MX1-U-45**

## OTHER BUSINESS

### 10. Commissioners' Comments

## ADJOURN

CD = Council District

**NOTE: If you require special accommodation pursuant to the Americans with Disabilities Act, please notify INCOG (918) 584-7526. Exhibits, Petitions, Pictures, etc., presented to the Planning Commission may be received and deposited in case files to be maintained at Land Development Services, INCOG. Ringing/sound on all cell phones and paggers must be turned off during the Planning Commission.**

Visit our website at [www.tmapc.org](http://www.tmapc.org)

email address: [esubmit@incog.org](mailto:esubmit@incog.org)

**TMAPC Mission Statement:** The Mission of the Tulsa Metropolitan Area Planning Commission (TMAPC) is to provide unbiased advice to the City Council and the County Commissioners on development and zoning matters, to provide a public forum that fosters public participation and transparency in land development and planning, to adopt and maintain a comprehensive plan for the metropolitan area, and to provide other planning, zoning and land division services that promote the harmonious development of the Tulsa Metropolitan Area and enhance and preserve the quality of life for the region's current and future residents.

**TMAPC Public Hearing**

**August 1, 2018**

***CPA-73, Major Street and Highway Plan Amendments***

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**A. Item: CPA-73, Major Street and Highway Plan Amendments**

**B. Background:** The Major Streets & Highway Plan is adopted as part of the Comprehensive Plan and provides for a hierarchical street classification system that distinguishes streets based on their ability to move traffic. It identifies roadways based on their functional classification, which serves as the official basis for determining right-of-way requirements and numbers of traffic lanes. This map was last amended in 2014.

INCOG Transportation Technical Advisory Committee and INCOG Transportation Policy Committee have recommended the following changes to the Tulsa Metropolitan Area Major Street and Highway Plan, based on the input from sponsoring entity engineers.

1. Rename the Special Trafficway classification to Scenic Drive and modify cross-section to reduce the (new) Scenic Drive classification from 6 lanes to 4 lanes. The Special Trafficway classification was only for Riverside Drive from E. 21<sup>st</sup> Street South to I-44. With the reconstruction of Riverside Drive in conjunction with the Gathering Place, the new name and cross-section are appropriate. (City of Tulsa)
2. Add various Industrial Collectors in the square mile between W. 51<sup>st</sup> Street South to W. 61<sup>st</sup> Street South and S. 49<sup>th</sup> West Avenue to S. 65<sup>th</sup> West Avenue. The Industrial Collectors reflect the development of the Paulsen Industrial Park and the relocation of the rail crossing at S. 49<sup>th</sup> West Avenue. (Tulsa County)

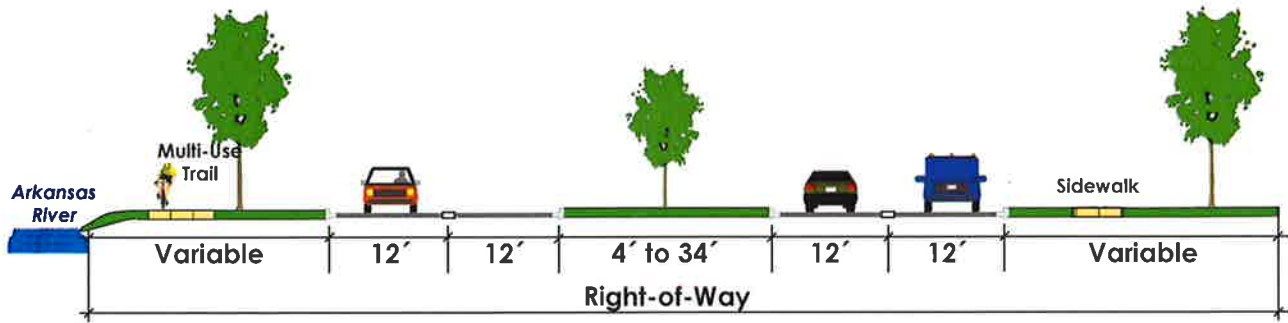
**C. Staff Recommendation:** Adopt proposed amendments to the Major Street and Highway Plan.



# Amendment 1




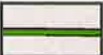
## Riverside Dr - Special Trafficway to Scenic Drive

 Scenic Drive

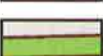


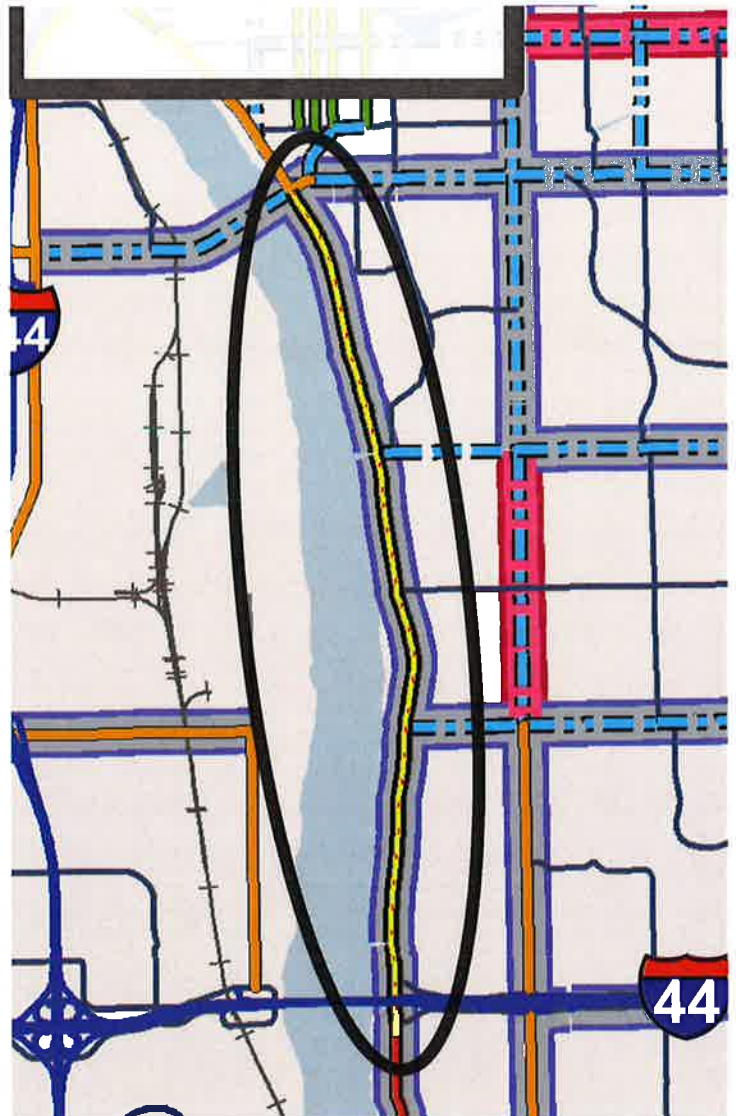
## Riverside Dr - 21st St to I-44

### Major Street and Highway Plan Classification

-  Freeway
-  Parkway
-  Scenic Drive
-  Primary Arterial
-  Secondary Arterial
-  Urban Arterial
-  Residential Collector
-  Commercial/Industrial Collector
-  CBD Street
-  Non-Classified Street

### City of Tulsa Street Designation

-  Main Street
-  Multi-Modal Street
-  Commuter Street

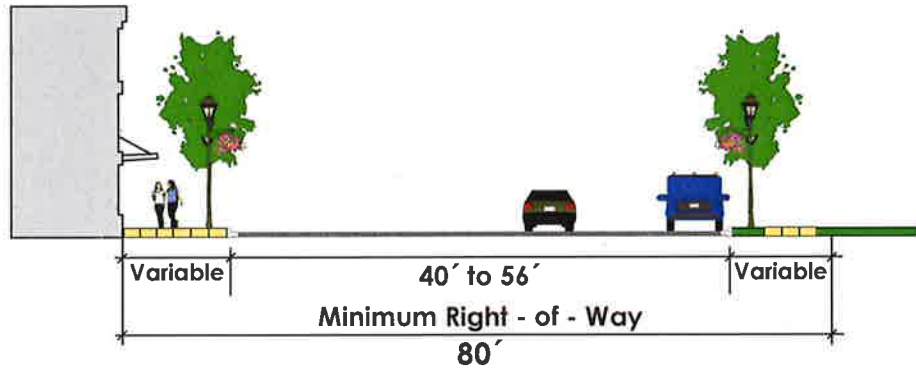


3.2

# Amendment 2









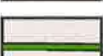
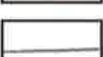
## Add Industrial Collector

 Industrial Collector



### Industrial Collector - Gilcrease off ramp @ W 51st St S

#### Major Street and Highway Plan Classification

-  Freeway
-  Parkway
-  Scenic Drive
-  Primary Arterial
-  Secondary Arterial
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#### City of Tulsa Street Designation

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Tulsa Metropolitan Area  
Planning Commission

**Case :** Cherokee Extension Industrial  
Park

**Hearing Date:** August 1, 2018

**Case Report Prepared by:**

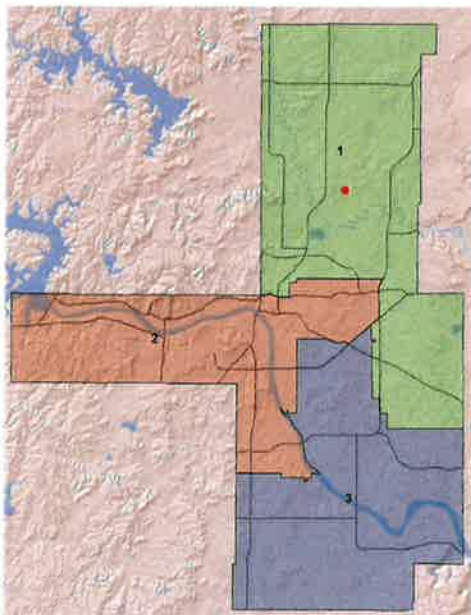
Nathan Foster

**Owner and Applicant Information:**

*Applicant:* Cyntergy

*Owner:* Owasso Land Trust, LLC

**Location Map:**  
(shown with City Council Districts)



**Applicant Proposal:**

Preliminary Plat

1 lot, 1 blocks, 14.21± acres

*Location:* Southeast corner of East 76<sup>th</sup>  
Street North and North Sheridan Road

**Zoning:** IL (Industrial – Light)  
IM (Industrial – Moderate)

**Staff Recommendation:**

Staff recommends **approval** of the  
preliminary plat

**County Commission District: 1**

*Commissioner Name:* Mike Craddock

**EXHIBITS:** Site Map, Aerial, Land Use, Growth & Stability, Preliminary Plat

## PRELIMINARY SUBDIVISION PLAT

### Cherokee Extension Industrial Park - (County)

Southeast corner of East 76<sup>th</sup> Street North and North Sheridan Road

This plat consists of 1 lot, 1 block on 14.21± acres.

The Technical Advisory Committee (TAC) met on July 19<sup>th</sup>, 2018 and provided the following conditions:

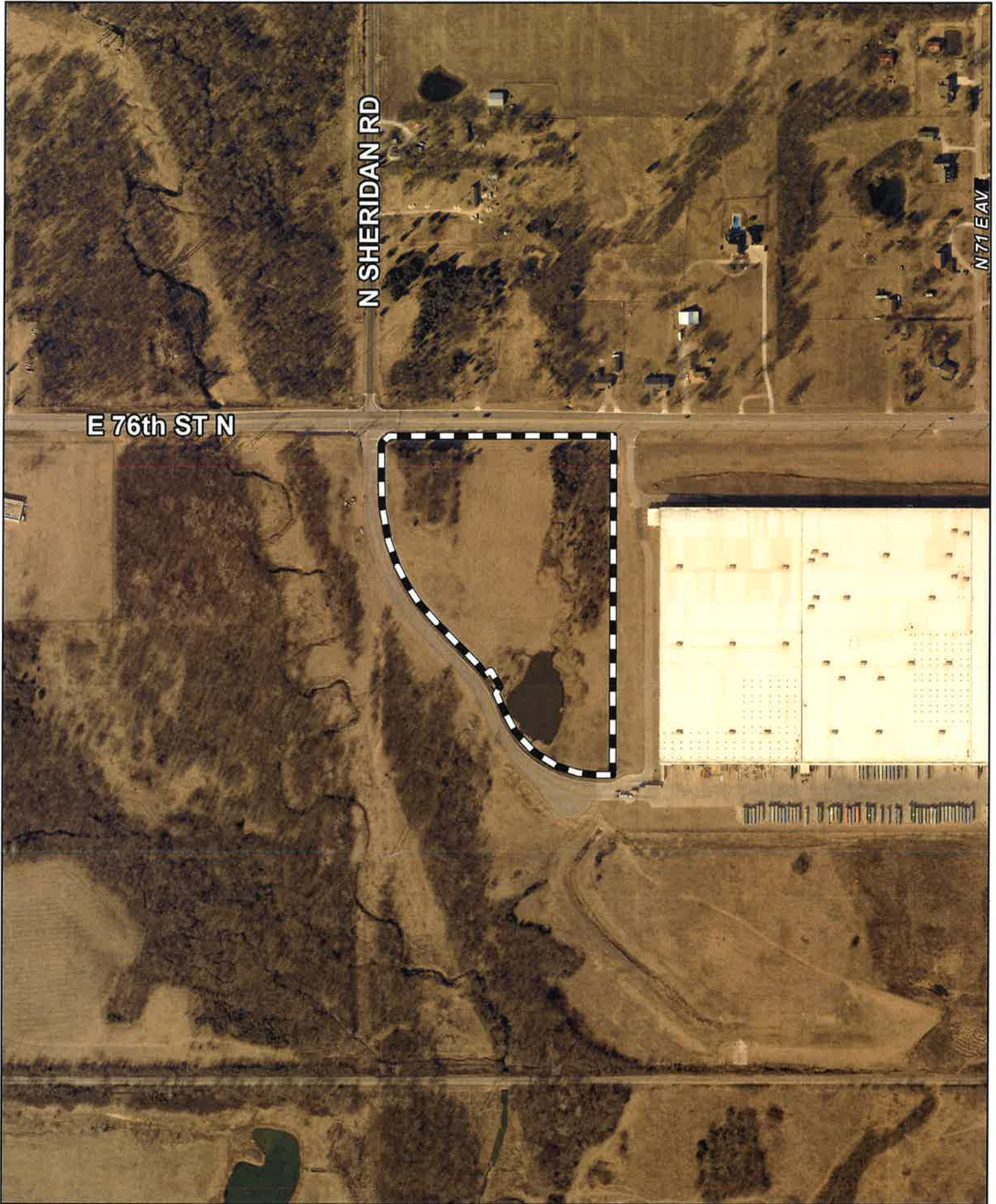
1. **Zoning:** All property contained within the subdivision is currently zoned IL (Industrial – Light) and IM (Industrial – Moderate). Proposed lots conform to the zoning districts.
2. **Addressing:** Graphically include assigned lot addresses on final plat. Address will be assigned by INCOG.
3. **Transportation & Traffic:** Provide recording information for the North Sheridan Road right-of-way or dedicate by plat. Provide dimension for right-of-way. Reduce point of access to the width at the property line and extend LNA on East 76<sup>th</sup> Street North.
4. **Sewer:** Offsite easement required for the sanitary sewer mainline extension. Clarify limits of both on-site and offsite easements. IDP will be required for sewer line and must be approved prior to approval of the final plat.
5. **Water:** IDP is required for the proposed water line extension. IDP must be approved prior to approval of the final plat.
6. **Engineering Graphics:** Submit a subdivision control data sheet with final plat. Remove contours on the final plat submittal. Provide name and email address for surveyor and engineer on face of plat. Graphically show all property pins found or set that are associated with this plat. Remove parcel lines from the location map and only show platted boundaries. Label all other property as unplatted. Label this plat boundary as “site” or “project location”. Ensure accuracy of written legal description.
7. **Fire:** Provide release for local fire service serving the property.
8. **Stormwater, Drainage, & Floodplain:** Property must comply with all County drainage standards. All delineated floodplain boundaries should be clearly and accurately shown on the plat with base flood elevations labeled. Proposed changes to the floodplain boundaries or flood elevations may be subject to floodplain map revisions.
9. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** All utilities indicated to serve the site must provide a release prior to final plat approval. Provide a Certificate of Records Search from the Oklahoma Corporation Commission to verify no oil & gas activity on the site.



**Modification of Subdivision and Development Regulations:**

1. None requested

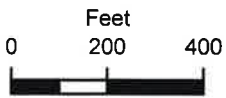
Staff recommends **APPROVAL** of the preliminary subdivision plat subject to the conditions provided by TAC and the requirements of the Subdivisions Regulations.



E 76th ST N

N SHERIDAN RD

N 71 E AV



 Subject Tract

21-13 35

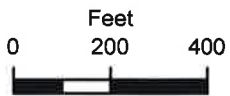
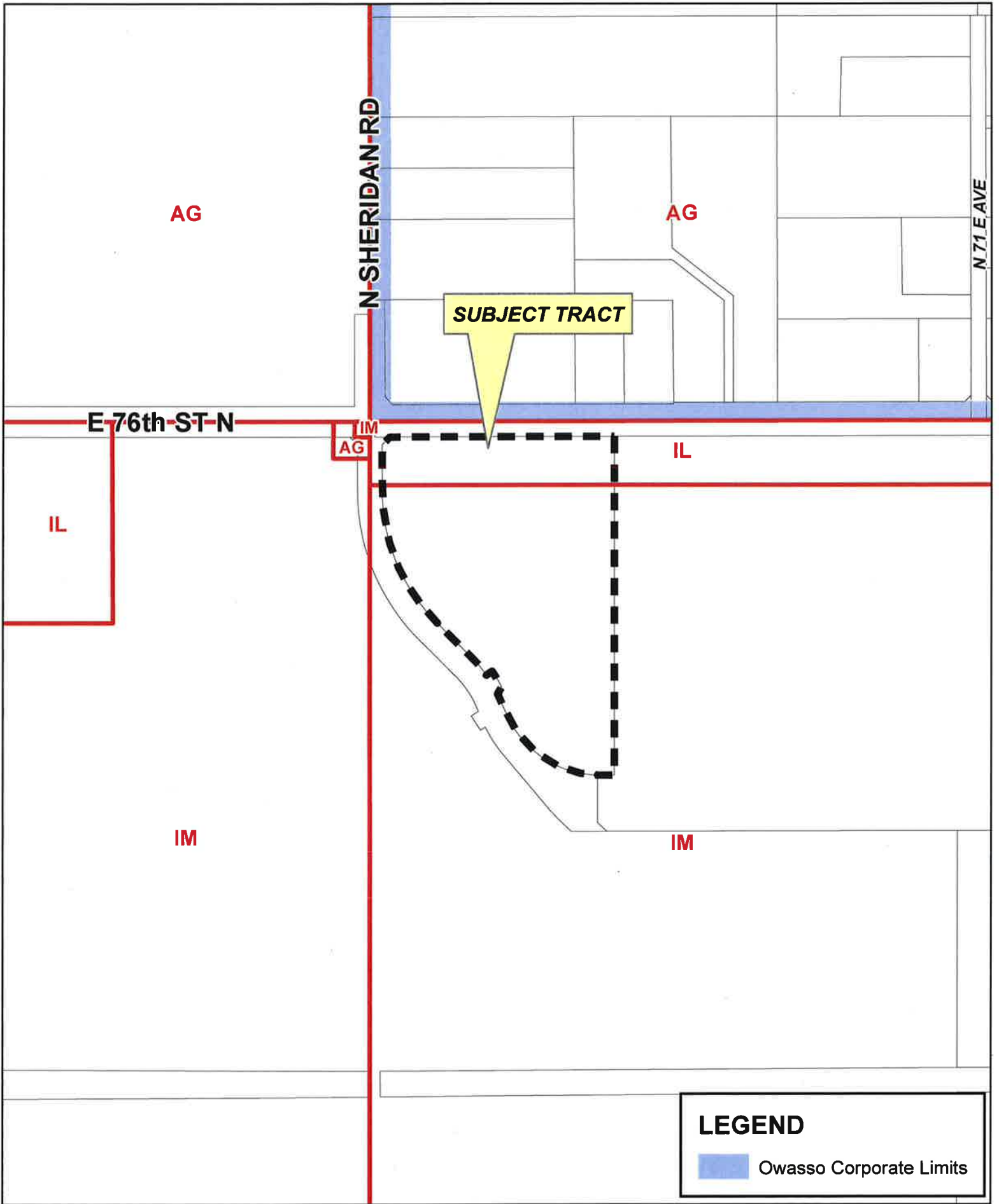
# CHEROKEE EXTENSION INDUSTRIAL PARK

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018



4.4



21-13 35

# CHEROKEE EXTENSION INDUSTRIAL PARK

**LEGEND**

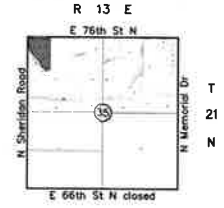
 Owasso Corporate Limits



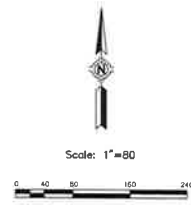
# PRELIMINARY SUBDIVISION PLAT

# Cherokee Extension Industrial Park

A PART OF SECTION 35, TOWNSHIP 21 NORTH, RANGE 13 EAST, 1.B.&M.  
AN ADDITION TO TULSA COUNTY, OKLAHOMA  
ADDITION HAS 1 LOT IN 1 BLOCK AND CONTAINS 14.211 ACRES, MORE OR LESS



Location Map  
Scale: 1"=200'



- Legend**
- ACC ACCESS PERMITTED
  - B/L BUILDING SETBACK LINE
  - BM BENCHMARK
  - CH CHANGING (APR)
  - D/E DRAINAGE EASEMENT
  - E/E EASEMENT
  - OVE OVERLAND DRAINAGE EASEMENT
  - LNA LIMITS OF NO ACCESS
  - RD/E RIGHT-OF-WAY
  - R/W RIGHT-OF-WAY
  - SD/E STORM DRAIN EASEMENT
  - SS/E SANITARY SEWER EASEMENT
  - U/E UTILITY EASEMENT
  - W/E WATER LINE EASEMENT

Boundary ID	Distance	Bearing	Radius	ChDist	ChBearing
L1	35.38'	S 43° 48' 04" W			
L2	150.25'	S 01° 09' 42" E			
C1	479.72'		612.00'	467.54'	S 23° 37' 04" E
L3	161.31'	S 46° 04' 25" E			
C2	71.85'		411.00'	71.76'	S 41° 02' 55" E
L4	22.00'	N 53° 56' 36" E			
C3	59.17'		493.00'	59.12'	S 32° 08' 31" E
L3	22.00'	S 61° 46' 24" W			
C4	22.91'		411.00'	22.91'	S 26° 37' 36" E
L6	66.89'	S 25° 02' 09" E			
C5	369.72'		331.00'	369.72'	S 37° 02' 01" E
L7	6.41'	S 89° 22' 53" E			

**Lot Summary**

LOT 1: 618,035.9 Square Feet (14.211 Acre) Net

**Basis of Bearing/Coordinates**

THE BASIS OF BEARING IS THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE 3501, NAD83(1993) SURVEY FEET. THE BEARING OF THE NORTH LINE OF THE NW/4 OF SECTION 35, T-21-N, R-13-E, 1.B.&M. IS S 89° 22' 53" E.

COORDINATES SHOWN ARE ON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE 3501, NAD83(1993)

NORTHEAST SUBDIVISION CORNER:  
3/8" REBAR 18" LONG W/ORANGE PLASTIC CAP LABELED RLS 1289;  
NORTHING 465,678.74; EASTING 2,587,770.09

SOUTHEAST SUBDIVISION CORNER:  
3/8" REBAR 18" LONG W/ORANGE PLASTIC CAP LABELED RLS 1289;  
NORTHING 465,679.46; EASTING 2,587,793.99

ALL SUBDIVISION CORNERS ARE MONUMENTED WITH A 3/8" REBAR 18" LONG W/ORANGE PLASTIC CAP LABELED RLS 1289

**Addresses**

ADDRESSES SHOWN ON THIS PLAT ARE ACCURATE AT THE TIME THE PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF THE LEGAL DESCRIPTION.

**Benchmarks**

ADS 175: 1-1/2" CAP STAMPED 175 IN NW QUADRANT OF INTERSECTION OF E 76TH ST N AND N YALE AVE.  
NORTHING 466,790.20 EASTING 2,581,627.78 ELEVATION 665.48(NVD08)

ADS 176: 1-1/2" CAP STAMPED 176 IN NW QUADRANT OF INTERSECTION OF E 66TH ST N AND N LEWIS AVE.  
NORTHING 461,303.01 EASTING 2,571,195.83 ELEVATION 601.24(NVD08)

SITE BENCHMARK 1: CHISELED BOX AT SW TOP OF CONCRETE RETENAIL.  
NORTHING 465,950.10 EASTING 2,587,355.31 ELEVATION 602.16(NVD08)

**Flood Note**

THE SUBJECT TRACT IS LOCATED IN ZONE X (UNSHADED), ZONE X (SHADED), ZONE AE AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP 40143C0100, REVISED DATE OCTOBER 16, 2012.



**OWNER/DEVELOPER:**  
**OWASSO LAND TRUST, LLC**  
12150 E 95th ST N, SUITE 200  
OWASSO, OKLAHOMA 74055  
918-272-2382

**ENGINEER:**  
**CYNERGY**  
810 SOUTH CINCINNATI  
TULSA, OKLAHOMA 74119  
918-520-9976  
CERTIFICATE OF AUTHORIZATION NO. 3537  
RENEWAL DATE: JUNE 30, 2020

**SURVEYOR:**  
**BENCHMARK SURVEYING AND LAND SERVICES, INC.**  
P.O. BOX 1078  
OWASSO, OK 74055  
918-274-9081  
CERTIFICATE OF AUTHORIZATION NO. 2235  
RENEWAL DATE: JUNE 30, 2020

**FINAL PLAT**

CERTIFICATE OF APPROVAL

I hereby certify that this plat was approved by the Tulsa Metropolitan Area Planning Commission on \_\_\_\_\_

THAPPROVED OFFICIAL

The approval is void if this plat is not filed in the Office of the County Clerk on or before \_\_\_\_\_

COUNTY OR CITY ENGINEER

APPROVED: \_\_\_\_\_

the Council of the City of Tulsa, Oklahoma

Chairman \_\_\_\_\_

Mayor \_\_\_\_\_

Attest: City Clerk \_\_\_\_\_

Approved: City Attorney \_\_\_\_\_

dit

# Cherokee Extension Industrial Park

PRELIMINARY SUBDIVISION PLAT  
A PART OF SECTION 35, TOWNSHIP 21 NORTH, RANGE 13 EAST, 1B & M,  
AN ADDITION TO TULSA COUNTY, OKLAHOMA  
ADDITION HAS 1 LOT IN 1 BLOCK AND CONTAINS 14.21 ACRES, MORE OR LESS

## Declaration of Restrictive Covenants Deed of Dedication and

### KNOW ALL MEN BY THESE PRESENTS:

Deesse Land Trust, LLC, an Oklahoma Limited Liability Company, hereinafter referred to as the "Owner/Developer", is the owner of the following described in Tulsa County, State of Oklahoma, to-wit:

A tract of land located in the Northwest Quarter of the Northwest Quarter (NW/4 NW/4) of Section Thirty-five (35) of Township Twenty-one (21) North and Range Thirteen (13) East of the Indian Base and Meridian (1881), according to the U.S. Government Survey, hereof, Tulsa County, State of Oklahoma, being more particularly described as follows:

Commencing at the NW corner of the NW/4 of Sec. 35, T=21-N, R=13-E, 1881; thence S 01°25' E along the west line of said NW/4 a distance of 50.00 feet; thence N 88°45'54" E parallel with the north line of said NW/4 a distance of 65.00 feet to the Point of Beginning being on the present right-of-way of East 76th Street North; thence S 43°48'06" W along the present easterly right-of-way of North Sheridan Road a distance of 33.38 feet; thence S 01°09'42" E along said present easterly right-of-way (one unit otherwise noted) a distance of 150.25 feet; thence along a curve to the left having a radius of 612.00 feet, a central angle of 149°44'43", a chord bearing of S 23°37'04" E, a chord length of 487.54 feet for a distance of 479.73 feet; thence S 46°04'22" E a distance of 181.31 feet; thence along a curve to the right having a radius of 411.00 feet, a central angle of 100°58", a chord bearing of S 41°33'56" E, a chord length of 71.76 feet for a distance of 71.85 feet; thence N 53°56'36" E a distance of 22.00 feet; thence along a curve to the right having a radius of 433.00 feet, a central angle of 07°48'46", a chord bearing of S 32°08'37" E, a chord length of 59.12 feet for a distance of 59.17 feet; thence S 61°46'24" W a distance of 22.00 feet; thence along a curve to the right having a radius of 413.00 feet, a central angle of 03°11'35", a chord bearing of S 26°37'36" E, a chord length of 22.91 feet for a distance of 22.95 feet; thence S 25°02'00" E a distance of 56.89 feet; thence along a curve to the left having a radius of 331.00 feet, a central angle of 63°59'53", a chord bearing of S 57°02'01" E, a chord length of 350.80 feet for a distance of 369.72 feet; thence S 88°22'53" E a distance of 6.41 feet to the boundary of MACY'S SUBDIVISION, according to the recorded plat; thence N 88°45'36" E along the boundary of said MACY'S SUBDIVISION (and leaving said present easterly right-of-way) a distance of 93.00 feet; thence N 01°14'24" W along the boundary of said MACY'S SUBDIVISION a distance of 1104.52 feet to said present right-of-way of East 76th Street North; thence S 88°45'36" W along said present right-of-way of East 76th Street North a distance of 729.56 feet to the Point of Beginning, and containing 14.21 acres, more or less.

One have ceased the above described tract of land to be surveyed, staked, plotted and subdivided into 1 lots in 1 block, conforming with the accompanying plat has designated the subdivisions as CHEROKEE EXTENSION INDUSTRIAL PARK, a subdivision in Tulsa County, Oklahoma (herein referred to as CHEROKEE EXTENSION INDUSTRIAL PARK, or the "Subdivision")

### SECTION 1 PUBLIC STREETS, EASEMENTS AND UTILITIES

#### A. Public Streets, Utility Easements and Restricted Waterline Easement

1. The Owner/Developer does hereby dedicate for public use the street rights-of-way as depicted on the accompanying plat. Additionally, the Owner/Developer does hereby dedicate to the public the utility easements as depicted on the accompanying plat as "Utility Easement" for the general purposes of constructing, maintaining, operating, repairing, replacing and/or removing any and all public utilities, including storm sewers, sanitary sewers, telephone and communication lines, electric power lines and transformers, gas lines, water lines and cable television lines, together with all fixtures, including the poles, wires, conduits, pipes, valves, meters, and equipment for each of such facilities and any other appurtenances thereto, with the rights of ingress and egress to and upon the utility easements for the uses and purposes aforesaid, provided however, the Owner/Developer hereby reserves the right to construct, maintain, operate, lay and remove water lines and sewer lines, together with the right of ingress and egress for such construction, maintenance, operation, laying and removal of water lines and sewer lines, together with the utility easements depicted on the plat, for the purpose of furnishing water and/or sewer services to the area included in the plat. The Owner/Developer herein imposes a restrictive covenant, which covenant shall be binding on each lot owner and shall be enforceable by the City of Tulsa, Oklahoma, or by the supplier of any affected utility service, that within the utility easements depicted on the accompanying plat, no building, structure or other above or below ground construction that interferes with the uses set forth herein and purposes of an easement shall be placed, erected, installed or maintained, provided however, nothing herein shall be deemed to prohibit streets, parking areas, curbing, landscaping and customary screening fences and areas that do not constitute an obstruction.

2. The Owner/Developer does hereby dedicate for public use perpetual easements on, over, and across these areas depicted on the accompanying plat as "Restricted Waterline Easement" for the purposes of constructing, maintaining, operating, repairing, replacing, and/or removing waterlines together with all fixtures including the pipes, valves, meters and equipment and other appurtenances thereto, together with rights of ingress and egress to and upon the easement for the uses and purposes aforesaid.

#### B. Underground Service

1. Street light poles or standards may be served by overhead line or underground cable and elsewhere throughout the Subdivision of supply lines for the supply of electric, telephone and cable television services shall be located underground in the general utility easements, service easements and transformers, all branches of supply of telephony, telegraph, may also be located in the general utility easements.

2. Underground services cables to all structures which may be located within the Subdivision may be run from the nearest service pedestal or transformer to the point of usage determined by the location and construction of such structure as may be located upon the lot, provided that upon the installation of a service cable to a particular structure, the supplier of service shall thereupon be deemed to have a definition, permanent, and effective easement on the lot, covering a 5-foot strip extending 2.5 feet on each side of the service cable, extending from the service pedestal or transformer to the service entrance on the structure.

3. The supplier of electric, telephone and cable television services, through its agents and employees, shall at all times have right of access to all general utility easements depicted on the accompanying plat for the purpose of installing, maintaining, repairing or replacing any portion of the underground electric, telephone, or cable television facilities installed by the supplier of the utility service.

4. The owner of each lot shall be responsible for the protection of the electric, telephone and cable television facilities installed on their lot and shall prevent the alteration of grade or any construction activity which would interfere with the electric, telephone, or cable television facilities. The supplier of service shall be responsible for ordinary maintenance of underground facilities, but the lot owner shall pay for damage or relocation of such facilities caused or necessitated by acts of the owner or his agents or contractors.

5. The foregoing covenants set forth in this paragraph B shall be enforceable by the supplier of the electric, telephone, or cable television service, and the owner of the lot agrees to be bound hereby.

#### C. Water, Sanitary Sewer and Storm Sewer Services

1. The owner of the lot shall be responsible for the protection of the public water mains, sanitary sewer mains and storm sewers located on its lot.

2. Within the utility easement and restricted waterline easement areas depicted on the accompanying plat, the alteration of grade from the existing existing grade, for the completion of the installation of a public water main, sanitary sewer main or storm sewer, or any construction activity which would interfere with public water mains, sanitary sewer main or storm sewer facilities, shall be prohibited.

3. The City of Tulsa, Oklahoma, or its successors, shall be responsible for the ordinary maintenance of public water mains, sanitary sewer mains and storm sewers, but the owner of the lot shall pay for damage or relocation of such facilities caused or necessitated by acts of the owner or its agents or contractors.

4. The City of Tulsa, Oklahoma, or its successors, shall at all times have right of access to all easements depicted on the accompanying plat for the purpose of installing, maintaining, repairing or replacing any portion of underground water, sanitary sewer or storm sewer facilities.

5. The foregoing covenants set forth in this paragraph C shall be enforceable by the City of Tulsa, Oklahoma, or its successors, and the owner of the lot agrees to be bound hereby.

D. Gas Service

1. The owner of each lot shall be responsible for the protection of gas facilities located on their lot.

2. Within the utility easement areas depicted on the accompanying plat, the owner of each lot shall prevent the alteration of grade or any construction activity which would interfere with a gas main.

3. The supplier of gas service shall be responsible for ordinary maintenance of gas mains, but the owner shall pay for damage or relocation of such facilities caused or necessitated by acts of the owner, its agents or contractors.

4. The supplier of gas service shall at all times have right of access to all easements depicted on the accompanying plat, or otherwise provided for in this deed of dedication, for the purpose of installing, maintaining, repairing or replacing any portion of gas facilities.

5. Underground gas service lines to all structures which may be located within the Subdivision may be run from the nearest gas main to the point of usage determined by the location and construction of such structure as may be located upon the lot, provided that upon the installation of a service line to a particular structure, the supplier of service shall thereupon be deemed to have a permanent and effective easement on the lot, covering a 5-foot strip extending 2.5 feet on each side of the service line, extending from the gas main to the service entrance on the structure.

6. The foregoing covenants set forth in this paragraph D shall be enforceable by the supplier of gas service, and the owner of each lot agrees to be bound hereby.

E. Surface Drainage and Lot Grading Restrictions

Each lot shall receive and drain, in an unobstructed manner, the storm and surface waters from lots and drainage areas of lower elevation than from public streets and easements. The lot owner shall construct or permit to be constructed any fencing or other obstructions which would impair the drainage of storm and surface waters thereon and across any lot. The foregoing covenants set forth in this paragraph E shall be enforceable by any affected lot owner and by the City of Tulsa, Oklahoma.

#### F. Limits of No Access

The undersigned Owner/Developer hereby relinquishes rights of vehicular ingress or egress from any portion of the property adjacent to East 76th Street North and North Sheridan Road within the bounds designated as "Limits of No Access" (L.N.A.) on the accompanying plat, which "Limits of No Access" (L.N.A.) may be amended or removed by the Tulsa Metropolitan Area Planning Commission, or its successor, and with the approval of the City of Tulsa, Oklahoma, or as otherwise provided for in the minutes and laws of the State of Oklahoma pertaining thereto, and the "Limits of No Access" above established shall be enforceable by the City of Tulsa.

G. Overland Drainage Easements

1. The Owner/Developer does hereby grant to the City of Tulsa, Oklahoma, and establish perpetual easements on, over, and across those areas depicted on the accompanying plat as "200'/E" or "Overland Drainage Easement" for the purposes of permitting the overland flow, conveyance, and discharge of stormwater runoff from the various lots within the Subdivision.

2. Drainage facilities constructed within drainage easements shall be in accordance with the adopted standards of the City of Tulsa, Oklahoma and plans and specifications approved by the City of Tulsa, Oklahoma.

3. No fence, wall, building or other obstruction may be placed or maintained in the overland drainage easement areas nor shall there be any alteration of the grades or contours in the easement areas unless approved by the City of Tulsa, Oklahoma. However, that the planting of turf shall not require the approval of the City of Tulsa, Oklahoma.

4. The overland drainage easement areas and facilities located within a lot shall be maintained by the owner of the lot upon which the drainage easement is located except that in the event of an occurrence with the standards prescribed by the City of Tulsa, Oklahoma, in the event the owner of the lot who on restricted drainage easement is located shall fail to properly maintain the easement area and facilities located thereon or, in the event of the placement of an obstruction within the easement area, or the obstruction of the grade or contour thereof, the City of Tulsa, Oklahoma, or its designated contractor may enter the easement area and perform maintenance necessary for the achievement of the intended drainage functions and may remove any obstruction or correct any alteration of grade or contour, and the costs thereof shall be paid by the owner. In the event the owner fails to pay the cost of maintenance after completion of the maintenance and receipt of a statement of costs, the City of Tulsa, Oklahoma, may file of record a copy of the statement of costs, and thereafter the costs shall be a lien against the lot of the owner. A lien established as above provided may be foreclosed by the City of Tulsa, Oklahoma.

K. Paving and Landscaping Within Easements

The owner of the lot affected shall be responsible for the repair of damage to landscaping and paving occasioned by necessary installation or maintenance of underground water, sewer, storm sewer, utility, gas, communication, cable television, or electric facilities within the utility easement areas depicted upon the accompanying plat, provided however, the City of Tulsa, Oklahoma, or its successors, shall be responsible for the repair of damage to the pavement of sidewalks.

L. Sidewalks

Sidewalks are required along East 76th Street North 122th and North Sheridan Road in accordance with the City of Tulsa Subdivision Regulations. Required sidewalks shall be constructed in accordance with the City of Tulsa Engineering Design Standards. Where the sidewalks are not constructed by the Owner/Developer, the builder of each lot shall construct the required sidewalks at the time of development of such lot.

### SECTION II ENFORCEMENT, DURATION, AMENDMENT AND SEVERABILITY

A. Enforcement

The restrictions herein set forth are covenants to run with the land and shall be binding upon the Owner/Developer, its successors and assigns. Within the Subdivision of Section 1, Public Streets, Easements and Utilities are set forth certain covenants and the enforcement rights pertaining thereto, and substantially the covenants within Section 1, whether or not specifically therein so stated, shall now to the benefit of and shall be enforceable by the City of Tulsa, Oklahoma.

B. Duration

These restrictions and covenants, to the extent permitted by applicable law, shall be perpetual; but in any event shall be in force and effect for a term of years not less than 2018 years from the date of the recording of this Deed of Dedication and Restrictive Covenants, or as otherwise provided.

C. Amendment

The covenants contained within Section 1, Public Streets, Easements and Utilities may be amended or terminated at any time by a written instrument signed and acknowledged by the owner of the land to which the amendment or termination is to be applicable and approved by the Tulsa Metropolitan Area Planning Commission, or its successor, and the City of Tulsa, Oklahoma. The provisions of any instrument amending or terminating covenants or above set forth shall be enforceable from and after the date it is properly recorded in the records of the County Clerk of Tulsa County.

#### D. Severability

Invalidation of any restriction set forth herein, or any part thereof, by an order, judgment, or decree of any court, or otherwise, shall not invalidate or affect any of the other restrictions or any part thereof as set forth herein, which shall remain in full force and effect.

IN WITNESS WHEREOF, Owner/Developer, has executed this instrument this \_\_\_\_ day of \_\_\_\_\_, 2018.

Deesse Land Trust, LLC  
an Oklahoma Limited Liability Company

By: \_\_\_\_\_

State of Oklahoma }  
County of Tulsa } ss

This instrument was acknowledged before me on this \_\_\_\_ day of \_\_\_\_\_, 2018, by \_\_\_\_\_, of Deesse Land Trust, LLC, an Oklahoma Limited Liability Company

Notary Public  
My commission expires \_\_\_\_\_  
Certificate of Survey \_\_\_\_\_

I, Keith M. Newlin, a registered professional land surveyor in the State of Oklahoma, do hereby certify that I have carefully and accurately surveyed, staked, subdivided, and plotted the tract of land described above, and that the accompanying plat designated herein as CHEROKEE EXTENSION INDUSTRIAL PARK, a Subdivision in the City of Tulsa, Tulsa County, State of Oklahoma, is a representation of the survey made on the ground using generally accepted practices and meets or exceeds the Oklahoma Minimum Standards for the practice of land surveying.

Keith M. Newlin  
Registered Professional Land Surveyor  
Oklahoma No. 1289

STATE OF OKLAHOMA ) ss  
COUNTY OF TULSA )

Before me, the undersigned a Notary Public in and for said County and State, on this \_\_\_\_ day of \_\_\_\_\_, 2018, personally appeared Keith M. Newlin, to me known to be the identical person who subscribed his name to the maker thereof to the foregoing instrument and acknowledged to me that he executed the same as his free and voluntary act and deed, for the uses and purposes set forth therein. Given under my hand and seal of office the day and year last above written.

Notary Public

My Commission Expires \_\_\_\_\_  
Commission No. \_\_\_\_\_

47





Tulsa Metropolitan Area  
Planning Commission

**Case :** Specific System

**Hearing Date:** August 1, 2018

**Case Report Prepared by:**

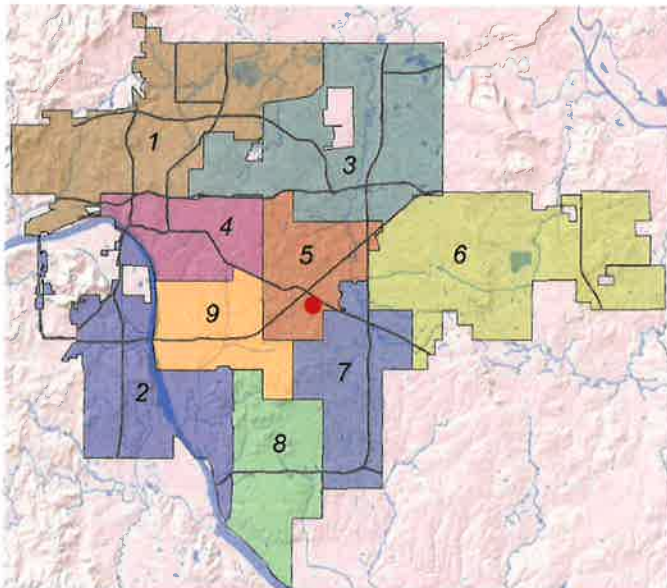
Nathan Foster

**Owner and Applicant Information:**

*Applicant:* KKT

*Owner:* Mike Bolick

**Location Map:**  
**(shown with City Council Districts)**



**Applicant Proposal:**

Preliminary Plat

10 lots, 2 blocks, 17.295± acres

*Location:* West of the northwest corner of East 41<sup>st</sup> Street South and South 79<sup>th</sup> East Avenue

**Zoning:** IL (Industrial – Light)

**Staff Recommendation:**

Staff recommends **approval** of the preliminary plat and a modification to the Subdivision & Development Regulations

**City Council District: 5**

*Councilor Name:* Karen Gilbert

**County Commission District: 3**

*Commissioner Name:* Ron Peters

**EXHIBITS:** Site Map, Aerial, Land Use, Growth & Stability, Preliminary Plat

## PRELIMINARY SUBDIVISION PLAT

### Specific System - (CD 5)

West of the northwest corner of East 41<sup>st</sup> Street South and South 79<sup>th</sup> East Avenue

This plat consists of 10 lots, 2 blocks on 17.295± acres.

The Technical Advisory Committee (TAC) met on July 19<sup>th</sup>, 2018 and provided the following conditions:

1. **Zoning:** All property contained within the subdivision is currently zoned IL (Industrial – Light). Proposed lots conform to the requirements of the zoning district.
2. **Addressing:** Correct street label for South 79<sup>th</sup> East Avenue (*currently shown as N 4<sup>th</sup> st*). Graphically include assigned lot addresses on final plat.
3. **Transportation & Traffic:** Proposed public street must be labeled and right-of-way dedications dimensioned. Subdivision & Development Regulations limit dead-end streets to 750 feet. Modification is required to allow cul-de-sac longer than 750 feet.
4. **Sewer:** Call out width of existing COT sanitary sewer easement. Clarify limits of internal utility easement throughout Block 2. IDP is required for the proposed sewer line extension. IDP must be approved prior to approval of the final plat.
5. **Water:** Add additional 15' utility easement for Lot 1 Block 1 along the right-of-way for South 79<sup>th</sup> East avenue. IDP is required for the proposed water line extension. IDP must be approved prior to approval of the final plat.
6. **Engineering Graphics:** Submit a subdivision control data sheet with final plat. Remove contours on the final plat submittal. Provide name and email address for surveyor on face of plat. Under basis of bearing, provide a bearing angle shown on the face of this plat. Correct plat section. Graphically show all property pins found or set that are associated with this plat. Correct written legal description to match the face of the plat. Add an arrow or leader line to the site on the location map and label all unplatted property in the section.
7. **Fire:** Dead-end street requires approval of the Fire Chief. Dead-end street length with no secondary access will limit allowable height & square footage of any buildings constructed on the proposed lots. All requirements of the Fire Marshal must be met prior to the approval of the final plat. Additional language will be required in the covenants.
8. **Stormwater, Drainage, & Floodplain:** If on-site detention is required, an additional easement will be required with specific language contained in the covenants. Portions of the subject property are located within the City of Tulsa regulatory floodplain. All delineated floodplain boundaries, including City of Tulsa Regulatory Floodplain, should be clearly and accurately shown



on the plat with base flood elevations labeled. All public utilities and facilities should be located and constructed to minimize flood damage. Any proposed development within the floodplain must meet the floodplain development requirements of the City of Tulsa Revised Ordinances, Title 11-A and Title 51 as well as all City drainage standards. Proposed changes to the floodplain boundaries or flood elevations will be subject to floodplain map revisions.

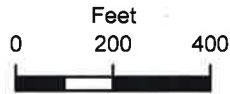
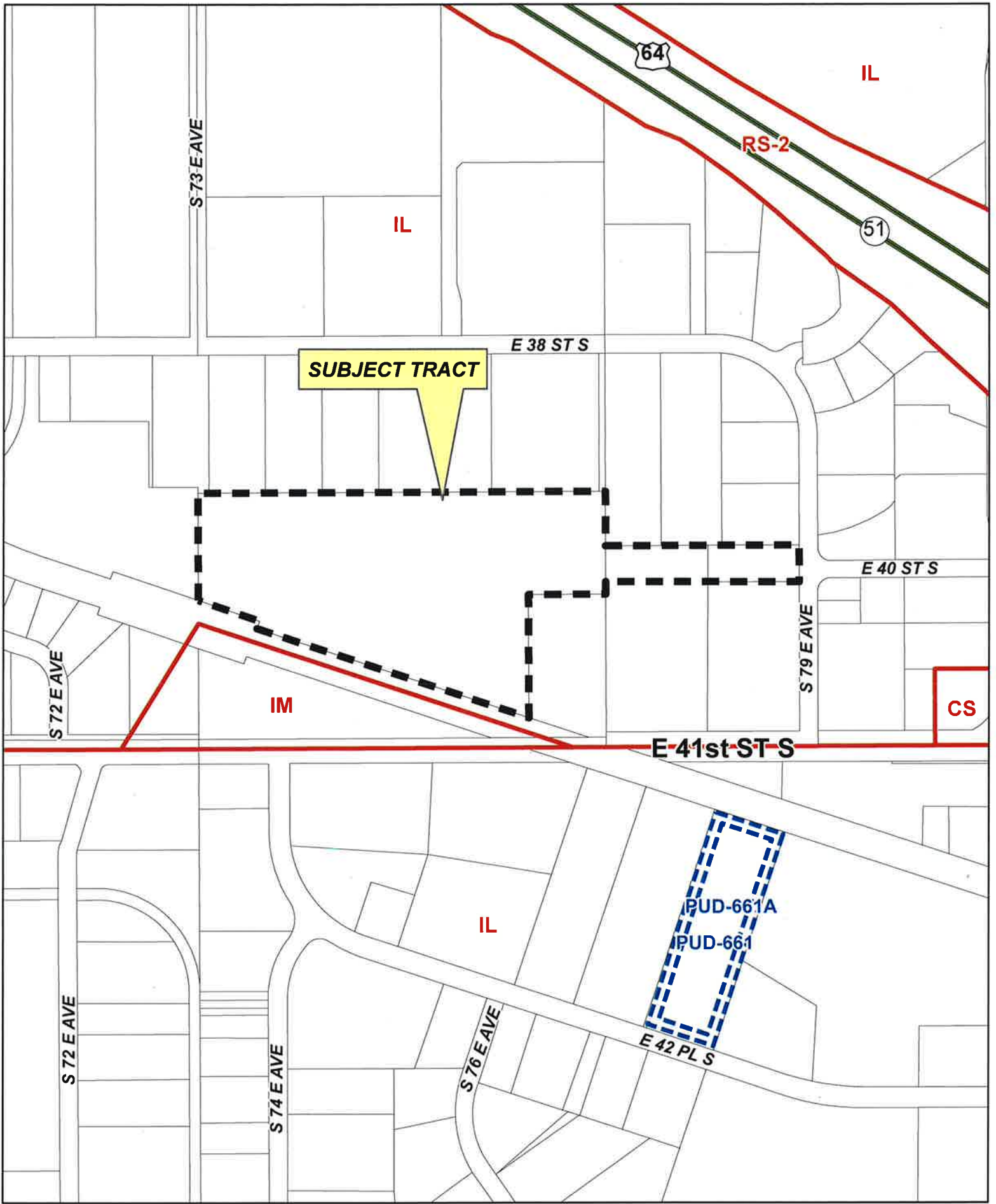
9. **Utilities: Telephone, Electric, Gas, Cable, Pipeline, Others:** All utilities indicated to serve the site must provide a release prior to final plat approval. Provide a Certificate of Records Search from the Oklahoma Corporation Commission to verify no oil & gas activity on the site.

**Modification of Subdivision and Development Regulations:**

1. Section 5.060.5.B.2 – Permanent dead-end streets may not exceed 750 feet in length measured from the centerline of the intersecting street to the center of the turnaround.

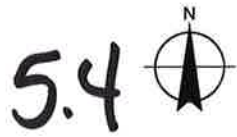
Staff recommends **APPROVAL** of the modification to the Subdivision & Development Regulations finding the property to be uniquely isolated with several challenges to external connectivity including a railroad right-of-way, existing buildings, and a drainage channel.

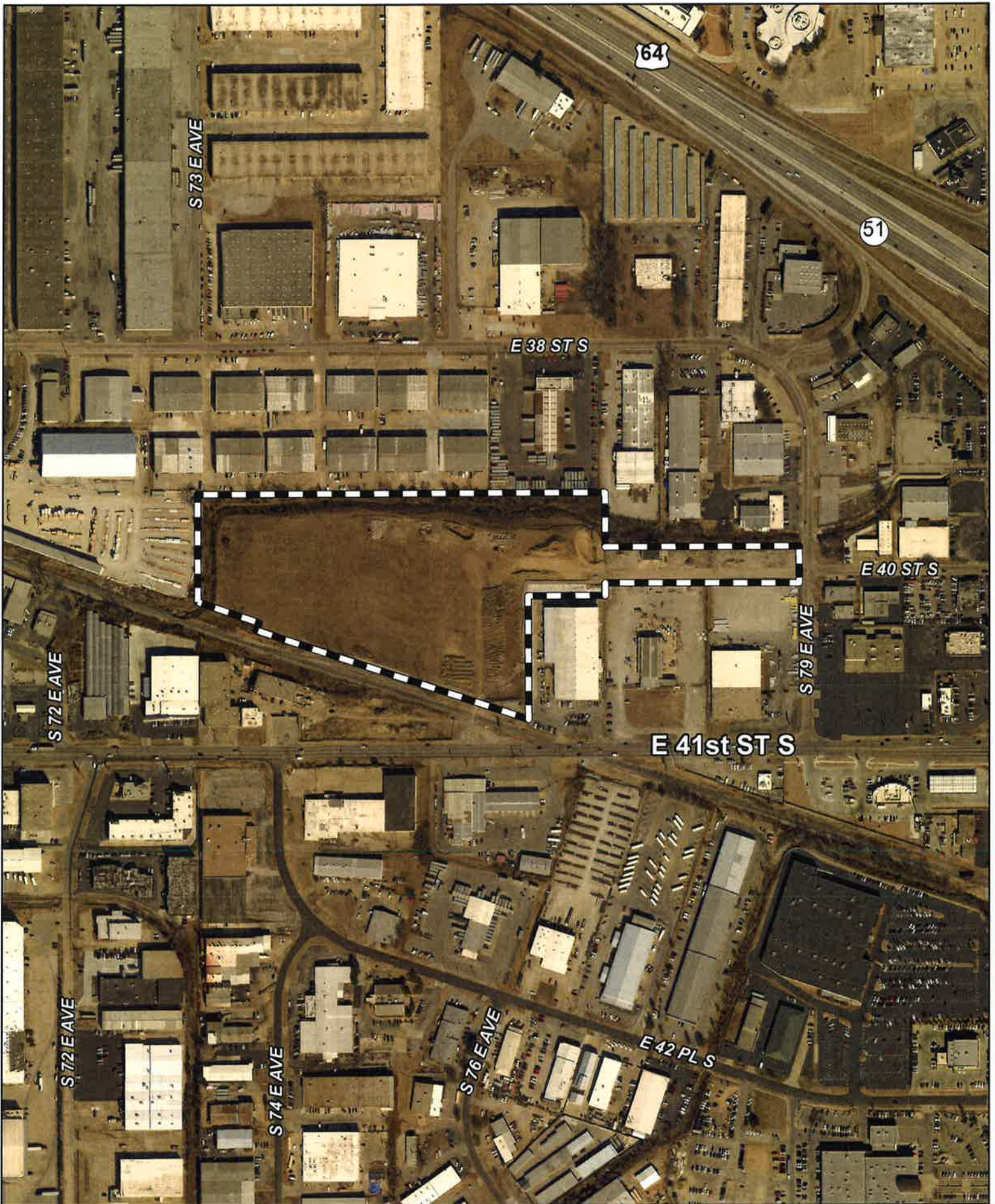
Staff recommends **APPROVAL** of the preliminary subdivision plat subject to the conditions provided by TAC and the requirements of the Subdivisions Regulations.



**SPECIFIC  
SYSTEMS**

19-13 23





 Subject Tract

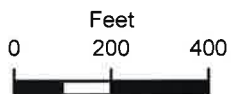
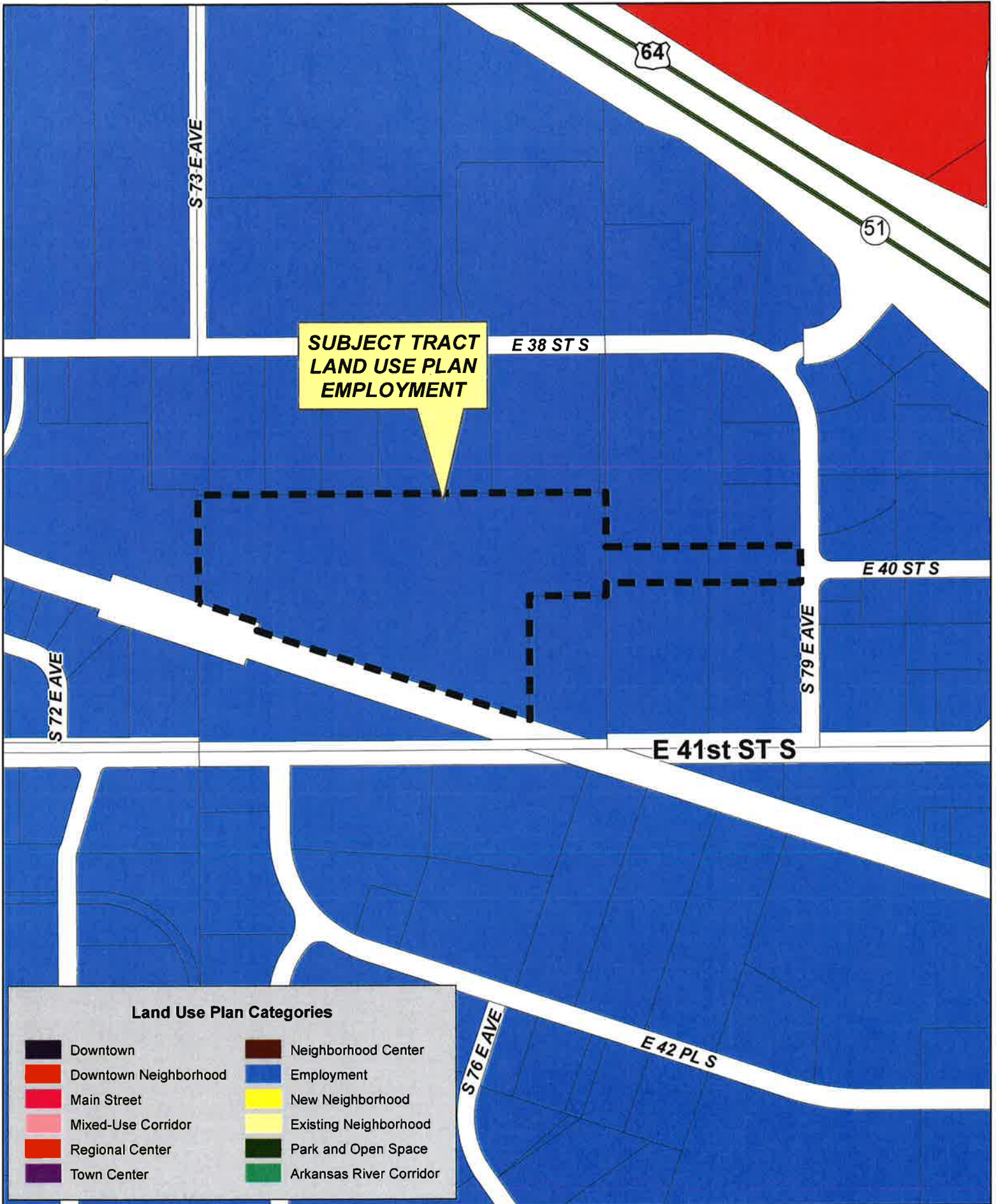
# SPECIFIC SYSTEMS

19-13 23

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018

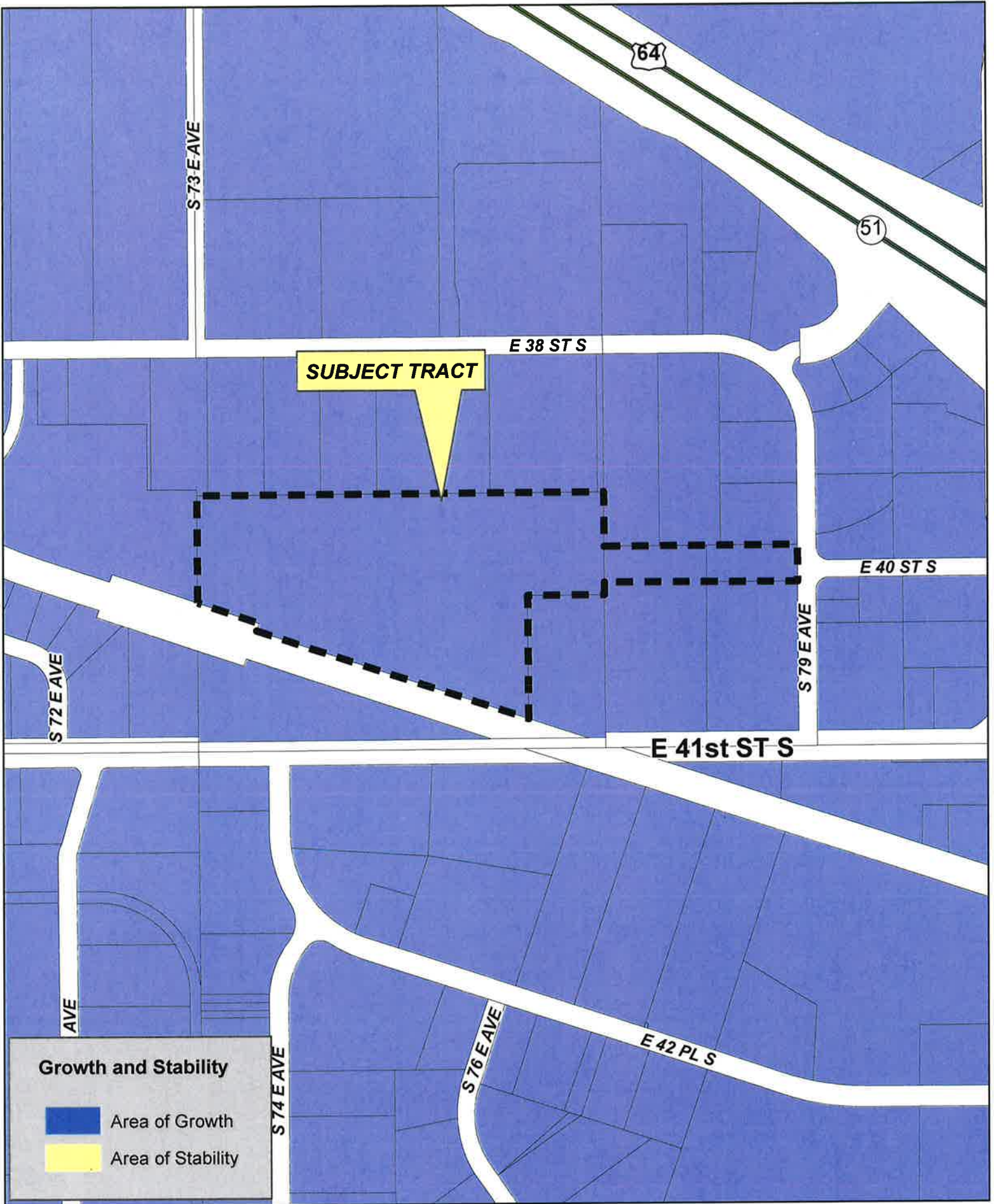






**SPECIFIC  
SYSTEMS**

19-13 23





**Growth and Stability**

-  Area of Growth
-  Area of Stability



**SPECIFIC  
SYSTEMS**

19-13 23



PRELIMINARY PLAT

# Specific System

SUBDIVISION IN THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA,  
BEING A PART OF THE S/2 OF THE SE/4 OF SECTION 23,  
TOWNSHIP 19 NORTH, RANGE 13 EAST, OF THE INDIAN BASE AND MERIDIAN.

**BASIS OF BEARINGS**

THE BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANNING COORDINATE SYSTEM, NORTH ZONE (2011), NORTH AMERICAN DATUM (NAD83), WITH THE SOUTH LINE OF SECTION 14 HAVING A BEARING OF S88°41'01"W.

**MONUMENTATION**

ALL CORNERS TO BE SET WITH A 3/8" IRON PIN WITH YELLOW CAP UNLESS OTHERWISE NOTED.

**FLOOD ZONE NOTE**

THE PROPERTY DESCRIBED HAS BEEN EXAMINED BY A MAP OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, TULSA COUNTY, OKLAHOMA, MAP NO. 404002391L, MAP REVISED, SEPTEMBER 30, 2018, WHICH SHOWS THE ENTIRE PORTION OF THE PROPERTY DESCRIBED HEREON AS LOCATED IN ZONE X(1) NOT SHADDED WHICH IS CLASSIFIED AS AREAS DETERMINED TO BE OUTSIDE OF THE 500 YEAR FLOOD PLAIN.

**NOTES**

1. THIS PLAT MEETS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.
2. ALL PROPERTY CORNERS ARE SET 3/8" IRON PIN UNLESS OTHERWISE NOTED.
3. ADDRESSES SHOWN ON THIS PLAT ARE ACCURATE AT THE TIME THE PLAT WAS FILED; ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF THE LEGAL DESCRIPTION.
4. ALL WATER AND SANITARY SEWER LINES WILL BE SUPPLIED BY THE CITY OF TULSA.
5. ALL STREET RIGHT-OF-WAY SHALL BE DEDICATED AS PUBLIC STREET BY THIS PLAT.

**LINE AND CURVE TABLE**

LABEL	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	Δ
C1	11.38'	12'	N84°11'04"W	10.65'	054°18'53"
C2	69.52'	60'	N68°18'43"W	62.32'	067°34'12"
C3	65.50'	60'	S89°34'53"W	79.44'	081°35'36"
C4	65.73'	60'	S42°10'20"E	79.62'	091°51'50"
C5	68.50'	60'	N65°33'11"E	82.32'	062°33'09"
C6	11.38'	12'	N81°30'02"E	10.89'	054°18'53"

**ABBREVIATIONS**

- ACC ACCESS
- BL BUILDING LINE
- BM BENCHMARK
- BU BOOK & PAGE
- CB CHORD BEARING
- CD CHORD DISTANCE
- ESB EASEMENT
- FVE LANDSCAPE EASEMENT
- FL FENCE & UTILITY EASEMENT
- ITD INITIAL TANGENT BEARING
- INTD INTERSECTION
- MAE MUTUAL ACCESS EASEMENT
- PCSC PUBLIC SERVICE COMPANY EASEMENT
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- ROW RIGHT-OF-WAY
- RWE RESTRICTED WATERLINE EASEMENT
- SC STORM SEWER
- SDS STORM DETENTION EASEMENT
- SSS SANITARY SEWER
- SSSE SANITARY SEWER EASEMENT
- SSSSE SANITARY SEWER EASEMENT
- STW STORM SEWER EASEMENT
- UVE UTILITY EASEMENT
- WUE WATERLINE
- WUEE WATERLINE EASEMENT

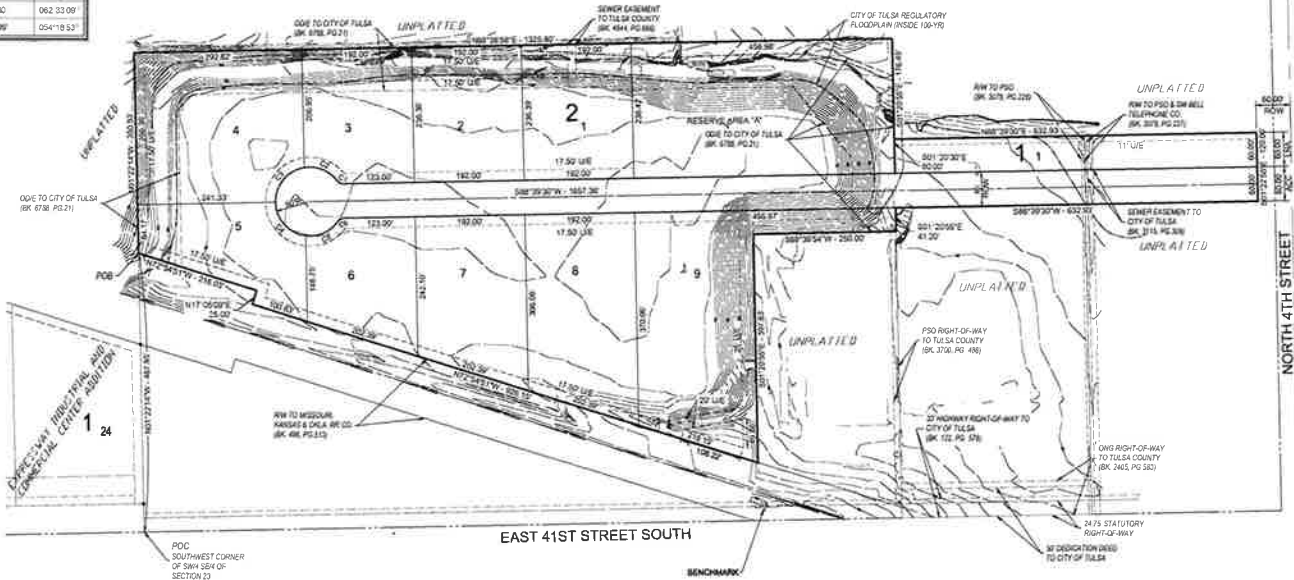
**LAND AREA**

SUBDIVISION CONTAINS 10 LOTS IN 2 BLOCKS  
SUBDIVISION CONTAINS 753,380.55SF (17,295 AC)  
BLOCK 1 CONTAINS 75,266.56SF (1.742 AC)  
BLOCK 2 CONTAINS 668,113.99SF (15,071 AC)  
RESERVED AREA CONTAINS 108,093.99SF (2.481 AC)

OWNER:  
**Bolick Enterprises, LLC**  
7655 East 41st Street South  
Tulsa, Oklahoma, 74145  
www.bolick.com

ENGINEER:  
**KKT Architects, Inc.**  
2200 South Ulta Place  
Tulsa, Oklahoma, 74114  
Phone: (918) 744-4270  
A. NICOLE WATTS, P.E. NO. 21511  
OK CA NO. 5305, EXPIRES 09/02/19  
email: nicole.watts@kktarchitects.com

SURVEYOR:  
**Sisemore Weisz & Associates, Inc.**  
6111 E. 32nd Place  
Tulsa, Oklahoma 74135  
Phone: (918) 665-3600  
OK CA NO. 2421, EXPIRES 09/02/19



**FINAL PLAT ENDORSEMENT OF APPROVAL**

Tulsa Metropolitan Area Planning Commission

Approval Date: \_\_\_\_\_

\_\_\_\_\_  
TAMARINDOOD

\_\_\_\_\_  
CITY ENGINEER  
Council of the City of Tulsa, Oklahoma

Approval Date: \_\_\_\_\_

\_\_\_\_\_  
CHAIRMAN

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
ATTEST: CITY CLERK

\_\_\_\_\_  
CITY ATTORNEY

The approval of the Final Plat will expire one year from the date of City Council approval in the Office of the County Clerk before that date.

**CERTIFICATE**

I hereby certify that all real estate taxes included in this plat have been paid as reflected by the current tax rolls. Security was required has been provided in the amount of \$ \_\_\_\_\_ per tract receipt no. \_\_\_\_\_ so be applied to \_\_\_\_\_ taxes. This certificate in HOV to be continued as payment of \$ \_\_\_\_\_ taxes in full but is given in order that this plat may be filed on record. 25 \_\_\_\_\_ taxes may exceed the amount of the security deposit.

Date: \_\_\_\_\_  
DENNIS SEMLER  
Tulsa County Treasurer

By: \_\_\_\_\_  
Deputy

STATE OF OKLAHOMA )  
                                  ) SS  
COUNTY OF TULSA )

I, Pat Key, Tulsa County Clerk, do hereby certify that the foregoing is a true and correct copy of a like instrument now on file in my office.

Date: \_\_\_\_\_  
PAT KEY  
Tulsa County Clerk

By: \_\_\_\_\_  
Deputy

**Benchmark** →  
ENHANCED SQUARE  
TOP OF HEADWALL  
ELEVATION: -095.56  
(1988 NAVD)

5.8



CONCEPTUAL SITE PLAN

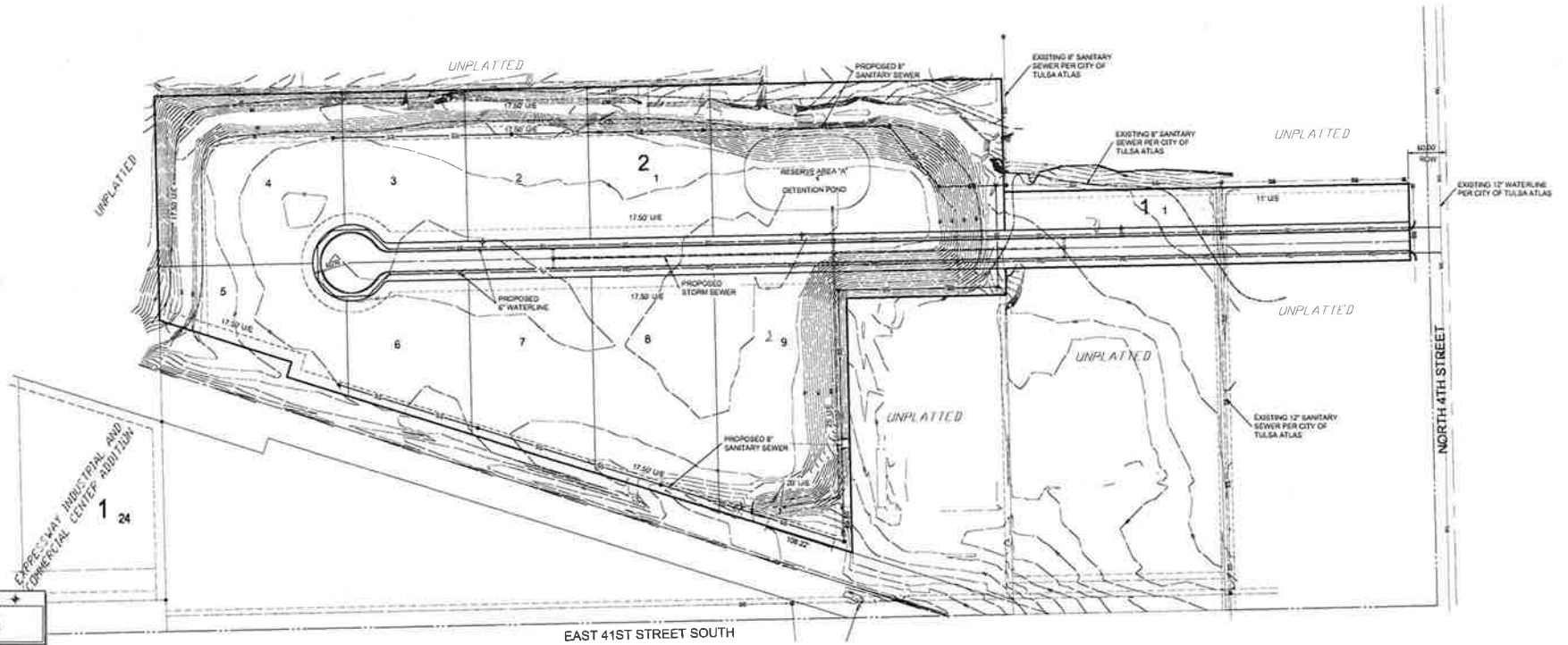
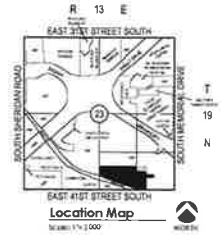
# Specific System

SUBDIVISION IN THE CITY OF TULSA, TULSA COUNTY, STATE OF OKLAHOMA,  
BEING A PART OF THE S/2 OF THE SE/4 OF SECTION 23,  
TOWNSHIP 19 NORTH, RANGE 13 EAST, OF THE INDIAN BASE AND MERIDIAN.

OWNER:  
Bolik Enterprises, LLC  
7655 East 41st Street South  
Tulsa, Oklahoma, 74145  
Mike Bolik

ENGINEER:  
KKT Architects, Inc.  
2200 South Utica Place  
Tulsa, Oklahoma, 74114  
Phone: (918) 744-4270  
A NICOLE WATTS P.E. NO. 21511  
OK CA NO. 5305 EXPIRES 6/30/2019  
email: mbole@kktarchitects.com

SURVEYOR:  
Sisemore Weisz & Associates, Inc.  
6111 E. 32nd Place  
Tulsa, Oklahoma 74135  
Phone: (918) 665-3600  
OK CA NO. 2421 EXPIRES 6/30/2019



5.10





Tulsa Metropolitan Area  
Planning Commission

**Case Number:** PUD-757-A

**Hearing Date:** August 1, 2018

**Case Report Prepared by:**

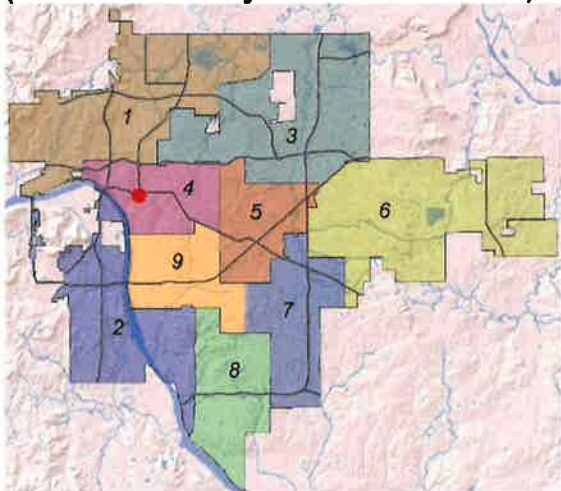
Dwayne Wilkerson

**Owner and Applicant Information:**

*Applicant:* Stuart Van De Wiele

*Property Owner:* LJS PROPERTIES LLC

**Location Map:**  
**(shown with City Council Districts)**



**Applicant Proposal:**

*Present Use:* Single Family Residential

*Proposed Use:* Single Family Residential

*Concept summary:* Amend the PUD to conform with as-built conditions and to satisfy requirements for fire department and vehicular maneuverability requirements

*Tract Size:* 0.43 ± acres

*Location:* N. of the NW/c of S. Norfolk Ave. & E. 15<sup>th</sup> St. S.

**Zoning:**

*Existing Zoning:* PUD-757, RT

*Proposed Zoning:* PUD-757-A, RT

**Comprehensive Plan:**

*Land Use Map:* New Neighborhood

*Stability and Growth Map:* Area of Growth

**Staff Recommendation:**

**Staff recommends approval.**

**Staff Data:**

TRS: 9212

CZM: 36

Atlas: 15

**City Council District:** 4

*Councilor Name:* Blake Ewing

**County Commission District:** 2

*Commissioner Name:* Karen Keith

6.1

**SECTION I: PUD-757-A**

**DEVELOPMENT CONCEPT:**

Maple Terrace is a single-family residence infill development with a maximum of three (3) single family homes located on three (3) individual lots designed for occupancy by single family resident owners with common area facilities and one reserve area (Reserve A) to be maintained by a Homeowners Association as shown on Exhibit "A", Detailed Site Plan.

The subject property is zoned Residential Townhome and is subject to Planned Unit Development No. 757 (as amended by PUD-757-1, PUD-757-2, and PUD-757-3). The Development and the PUD have undergone multiple changes and amendments and this major amendment is designed to set forth the development standards applicable to the project and property both as currently constructed and as-constructed at completion. The development standards shown herein and amended pursuant to the current City of Tulsa Zoning Code shall supersede and replace the development standards as previously adopted or amended under the prior version of the City of Tulsa Zoning Code.

The three (3) lots will provide for a minimum aggregate average of 1,200 square feet of Open Space per residential lot (taking into account the Open Space of Reserve A) and will provide for more than adequate off-street parking for the residents and their guests. The Homeowners Association will maintain a reserve area (Reserve A) which will serve not only as a common access point for the residents, but also as an emergency access point for emergency vehicles and as a turnaround for emergency vehicles on Norfolk Avenue. Turnaround for local traffic is a requirement of the PUD will be addressed in the infrastructure development plan (IDP) process separate and apart from this PUD amendment.

**EXHIBITS:**

- INCOG Case map
- INCOG Aerial (small scale)
- INCOG Aerial (large scale)
- Tulsa Comprehensive Plan Land Use Map
- Tulsa Comprehensive Plan Areas of Stability and Growth Map
- Applicant Exhibits:
  - Exhibit "A" – Detailed Site Plan
  - Exhibit "B" – Open Space Exhibit
  - Exhibit "C" – Conceptual Gate Design and Specifications
  - Exhibit "D" – Conceptual Wall / Fence Diagrams
  - Exhibit "E" – Conceptual Building Elevations

**SECTION II: PUD 757-A Development Standards**

**LAND AREA:**

Net	18,612 Square feet
Gross	24,994 square feet

**PERMITTED USES - LOTS:**

Three (3) single-family residences and uses customarily accessory to the same

**PERMITTED USES - RESERVE A:**

Mutual access, Open Space, landscaping, landscape lighting, and walls / fences subject to the approval by the city. Gate controlled entrance (minimum 20' in width) for resident and guest pedestrian and vehicle access, emergency vehicle access, emergency

6.2

vehicle turnaround from South Norfolk Avenue, common area facilities and utilities, and other uses customarily accessory to residential dwellings, to be maintained by the Homeowners Association.

Gate controlled entrance within Reserve A shall be a minimum width of twenty feet (20').

Conceptual diagram of gate is as shown on Exhibit "C" and the location of the gate within Reserve A is as shown on the Detailed Site Plan attached as Exhibit "A".

<b><u>MAXIMUM NUMBER OF DWELLING UNITS:</u></b>	Three (3)
<b><u>MINIMUM WIDTH - LOT:</u></b>	33 Feet
<b><u>MINIMUM LOT AREA:</u></b>	3,450 Square Feet
<b><u>MINIMUM OPEN SPACE:</u></b>	1,200 Square Feet per Lot (aggregate average including Reserve-A) as shown on the Open Space Exhibit attached as Exhibit "B"
<b><u>MAXIMUM BUILDING HEIGHT:</u></b>	38 Feet from finished floor elevation as shown on the Detailed Site Plan attached as Exhibit "A" and on the Conceptual Building Elevations attached as Exhibit "E".
<b><u>OFF-STREET PARKING:</u></b>	Minimum of 6 per Lot (including stacked parking on the respective Lot in garages or on driveway)
<b><u>MINIMUM SETBACK – EAST*:</u></b>	10 Feet from Property Line
<b><u>MINIMUM SETBACK – NORTH*:</u></b>	5 Feet from Property Line
<b><u>MINIMUM SETBACK – WEST*:</u></b>	5 Feet from Property Line
<b><u>MINIMUM SETBACK – SOUTH*:</u></b>	10 Feet from Property Line

\* Any encroachment into a utility easement is subject to approval by the City.

**SIGNS:** One (1) neighborhood identification sign or "Maple Terrace" sign shall be permitted either on the gate or on the fence at the South Norfolk Avenue entrance. Such sign shall have a maximum of 12 square feet of display surface area.

**LIGHTING:** No exterior lighting other than (i) customary exterior home lighting, (ii) landscape lighting, or (iii) LED underlighting to be located under each column cap along the fence / wall columns (inside and outside of columns).

**FENCES / WALLS:** A masonry, decorative iron and stucco screening fences and retaining wall structure shall be permitted along the east, north, west and south perimeters of the property similar to the type, size and style depicted on the Conceptual Wall / Fence diagrams as shown on Exhibit "D" attached hereto if permitted by the city. A Fence / Wall profile with appropriate details shall be

approved as part of a TMAPC site plan approval prior to receipt of a building permit. Exhibit D is provided for illustrative purposes only.

The maximum height of the fence/wall structure as measured on the inside may not exceed 8 feet from the finished ground or pavement surface.

The columns which are made a part of the wall and fence are excluded from that dimension however those columns may not exceed the height of the wall or fence panel by no more than 1.5 feet.

The existing retaining wall shall not be considered part of the fence height.

**ENTRY GATE:** Entrance gate, if constructed, shall be open decorative wrought iron type gate as shown on the Conceptual Gate Design and Specifications as shown on Exhibit "C" attached hereto. The entrance gate shall maneuver as shown on the Detailed Site Plan attached as Exhibit "A" attached hereto.

**PRIVATE DRIVE / ACCESS:** The private access drive will be constructed to connect to the City right-of-way on South Norfolk Avenue with a quality and thickness that meets or exceeds City standards for a minor residential public street. The apron to access to the property from the existing edge of pavement to the West right-of-way of South Norfolk Avenue will be constructed to meet or exceed City standards for Residential Concrete Driveway / Asphalt Streets. The access drive details will be determined prior to Detailed Site Plan approval and meet the standards required by the Tulsa Fire Department.

**PLATTING REQUIREMENT:** Already platted.

**DETAILED SITE PLAN:** Attached as Exhibit "A" illustrates the general concept for the development but does not accurately illustrate details of building locations and does not illustrate final design for Reserve A. Detailed Site Plan approval for the perimeter fencing, retaining walls, gates and Reserve A will be reviewed through the normal site plan approval process identified in the Tulsa Zoning Code. Final site plan approval will not be released by INCOG staff until written approval of the final design is received from the Fire Department and from Development Services.

**OPEN SPACE PLAN:** Attached as Exhibit "B".

**HOMEOWNERS ASSOCIATION:** Developer will create a Homeowners Association to maintain Reserve A and all common facilities.

**TOPOGRAPHY:** Alteration of grades from the contours existing upon the completion of the installation of utilities and the completion of all construction activities shall be prohibited unless required permitting (if any) is obtained from the City of Tulsa for such alteration.

**IDP PROCESS:** Infrastructure improvements necessary for the development shall be pursued and approved through IDP process separate and apart from the PUD amendment process.

**CONSTRUCTION SCHEDULE:** It is anticipated that up release of the necessary permits,

6.4

construction of the development will be complete within six (6) months thereof.

#### **DETAILED STAFF RECOMMENDATION:**

Development standards identified in Section II above are consistent with the provisions of the PUD chapter of the Tulsa Zoning Code and,

PUD 757-A establishes new development standards that may have been considered minor amendments if reviewed individually. The aggregate of all changes along with engineering and fire code requirements will affect abutting property owners to the extent that staff has determined that the PUD amendment cannot be processed except through a major amendment and,

The Development Standards for PUD 757-A in Section II above are consistent with the Tulsa Comprehensive Plan and,

Infrastructure that was required by the previous PUD have not been installed and concepts important to fire safety and vehicular access have not been reviewed or approved by City of Tulsa development services at this time. Those infrastructure design solutions could affect the final site plan approval as it relates to the private drive and gate approval therefore,

**At this time staff recommends approval of PUD-757-A as outlined in Section II above however we will request a continuance to the August 15<sup>th</sup> planning commission if the IDP plan have not been submitted by 9:00 am Monday July 30th.**

#### **SECTION III: Supporting Documentation**

##### RELATIONSHIP TO THE COMPREHENSIVE PLAN:

*Staff Summary: The PUD development standards identified in Section II above are consistent with the New Neighborhood land use designation and the Area of Growth concept identified in the Tulsa Comprehensive Plan.*

##### Land Use Vision:

*Land Use Plan map designation: New Neighborhood*

“The New Neighborhood residential building block is comprised of a plan category by the same name. It is intended for new communities developed on vacant land. These neighborhoods are comprised primarily of single-family homes on a range of lot sizes, but can include townhouses and low-rise apartments or condominiums. These areas should be designed to meet high standards of internal and external connectivity and shall be paired with an existing or New Neighborhood or Town Center.”

*Areas of Stability and Growth designation: Area of Growth*

The purpose of Areas of Growth is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

Areas of Growth are found throughout Tulsa. These areas have many different characteristics but some of the more common traits are close proximity to or abutting an arterial street, major employment and industrial areas, or areas of the city with an abundance of vacant land. Also, several of the Areas of Growth are in or near downtown. Areas of Growth provide Tulsa with the opportunity to focus growth in a way that benefits the City as a whole. Development in these areas will provide housing choice and excellent access to efficient forms of transportation including walking, biking, transit, and the automobile.”

Transportation Vision:

*Major Street and Highway Plan:* None that affect site development

*Trail System Master Plan Considerations:* PUD 757-A abuts the Midland Valley Trail. Connectivity to the trail is an important concept in the GO Plan. Access from the north End of Newport by ODOT fencing however easy access to the trail is located just west of this site on E. 15<sup>th</sup> Street. Sidewalk construction should be required from the front entrance on Norfolk to E. 15<sup>th</sup> Street.

Small Area Plan: None

Special District Considerations: None

Historic Preservation Overlay: None

DESCRIPTION OF EXISTING CONDITIONS:

*Staff Summary:* Construction on the site has started with at least one home that does not conform limitations that were part of the original PUD. Additional construction for fencing and retaining walls have been started without building permit approval or detailed site plan approval and appear to conflict with design requirements that were originally approved in the PUD. The retaining wall system on the south end of the site and conflicts with City sanitary sewer and it is likely that a new public sewer system will be required for this project.

Environmental Considerations: None that affect site redevelopment

Streets:

<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP RW</u>	<u>Exist. # Lanes</u>
South Norfolk Ave	None	50 feet	2

Utilities:

The subject tract has municipal water and sewer available. Note: Sanitary sewer service relocation may be required.

Surrounding Properties:

<u>Location</u>	<u>Existing Zoning</u>	<u>Existing Land Use Designation</u>	<u>Area of Stability or Growth</u>	<u>Existing Use</u>
North	RS-3	None	None	Broken Arrow Expressway and Inner

6.6

				dispersal Loop
East	OL and RS-4 (north lot)	Existing Neighborhood and Main Street	Stability on north and Growth on south	Single Family Residential
South	OL	Main Street	Existing Neighborhood	Medical Office
West	RM-2	Main Street	Growth	Vacant

#### SECTION IV: Relevant Zoning History

**ZONING ORDINANCE:** Ordinance number 21978 dated January 6, 2009, established zoning for the subject property. (RS-3/OL to RT/PUD)

#### **Subject Property:**

**PUD-757/Z-7096 January 2009:** All concurred in **approval** of a proposed *Planned Unit Development* on a .43± acre tract of land and **approval** of a request for *rezoning* from RS-3/OL to RT/PUD for a townhouse development on property located north of the northwest corner of South Norfolk Avenue and East 15<sup>th</sup> Street South, the subject property.

#### Minor Amendments:

**PUD-757-1 February 2014:** All concurred in **approval** of a *minor amendment* to PUD-757 to allow Use Unit 6 (Single-family Dwellings); and **denied** a *minor amendment* to allow architectural elements to extent past the 35 feet height element.

**PUD-757-2 August 2014:** All concurred in **approval** of a *minor amendment* on the consent agenda for PUD-757 to reduce the setback from South Norfolk Avenue to ten feet from the property line.

**PUD-757-3 November 2014:** All concurred in **approval** of a *minor amendment* on the consent agenda for PUD-757 to reduce the setback of the west boundary from 20 feet to 11 feet.

**Z-6081 January 1986:** All concurred in **approval** of a request for *rezoning* a tract of land from RS-3 to OL for office use on property located on the northwest corner of East 15<sup>th</sup> Street South and South Norfolk Avenue (included a portion of the subject property).

#### **Surrounding Property:**

**BOA-21925 July 2015:** The Board of Adjustment **denied** a *special exception* to permit an office in an RM-2 district; a *variance* to reduce the required building setback from the centerline of East 15<sup>th</sup> Street from 85 feet to 50 feet; and a *variance* to permit a 3-story office building in an RM-2 zoned district, on property located south and west of the subject property, or west of the northwest corner of East 15<sup>th</sup> Street South and South Norfolk Avenue.

**Z-6378 April 1993:** All concurred in **approval** of a request for a *supplemental overlay zoning* on a tract of land to HP for historic preservation on property located south of the subject property.

**Z-6339/PUD-478 December 1991:** All concurred in **approval** of a request for *rezoning* a 7.73± acre tract of land from OL/OMH/RS-3 to RS-4 and **approval** of a proposed *Planned Unit Development* for a

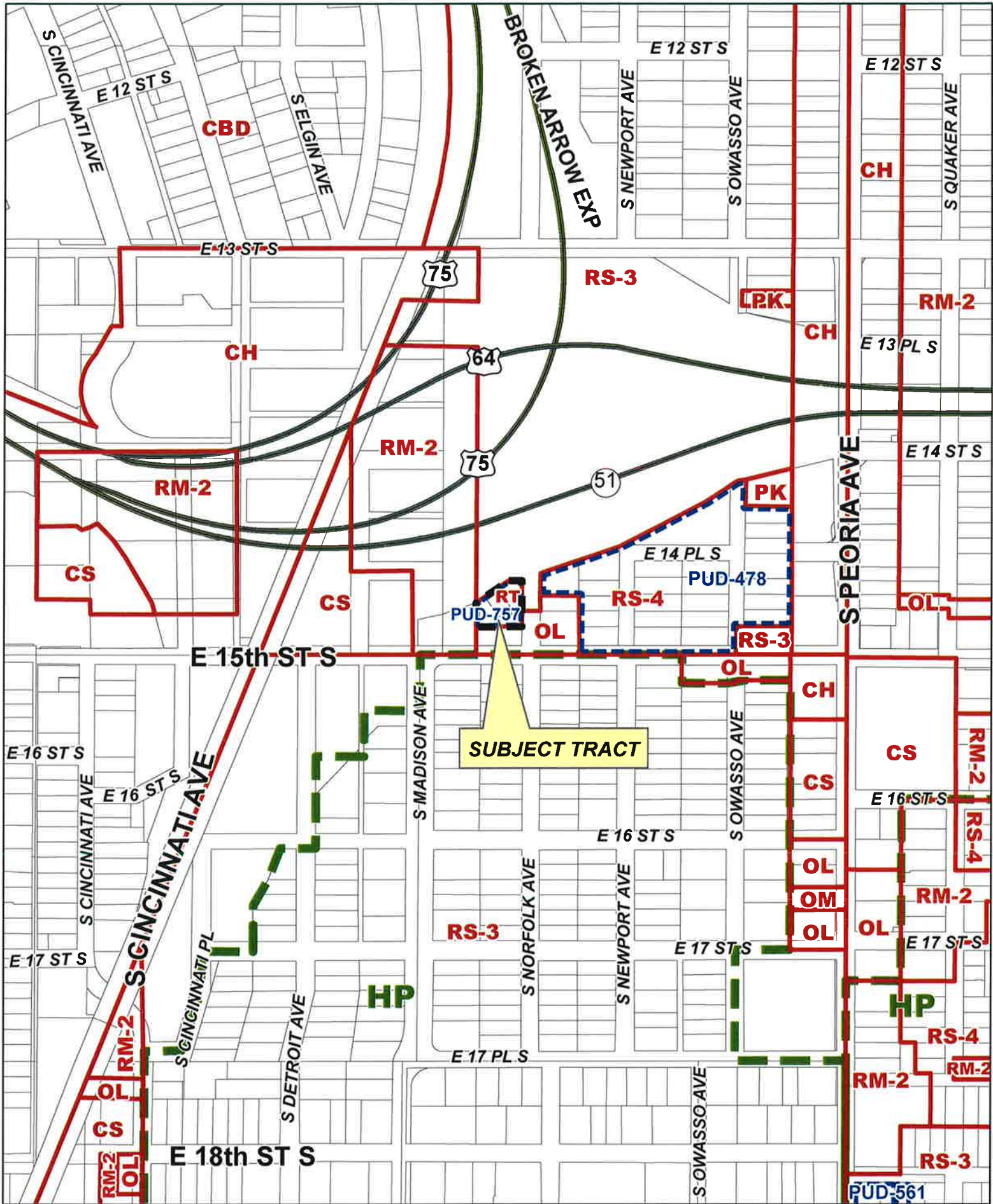
6.7

single-family development with private streets on property located west of the northwest corner of South Peoria Avenue and East 15<sup>th</sup> Street.

8/1/2018 1:30 PM

6.8





**SUBJECT TRACT**

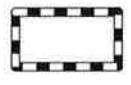
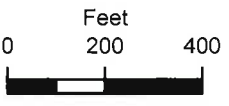
**PUD-757-A**



19-12 12

6.9





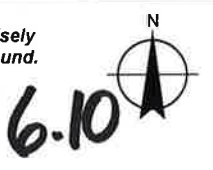
Subject Tract

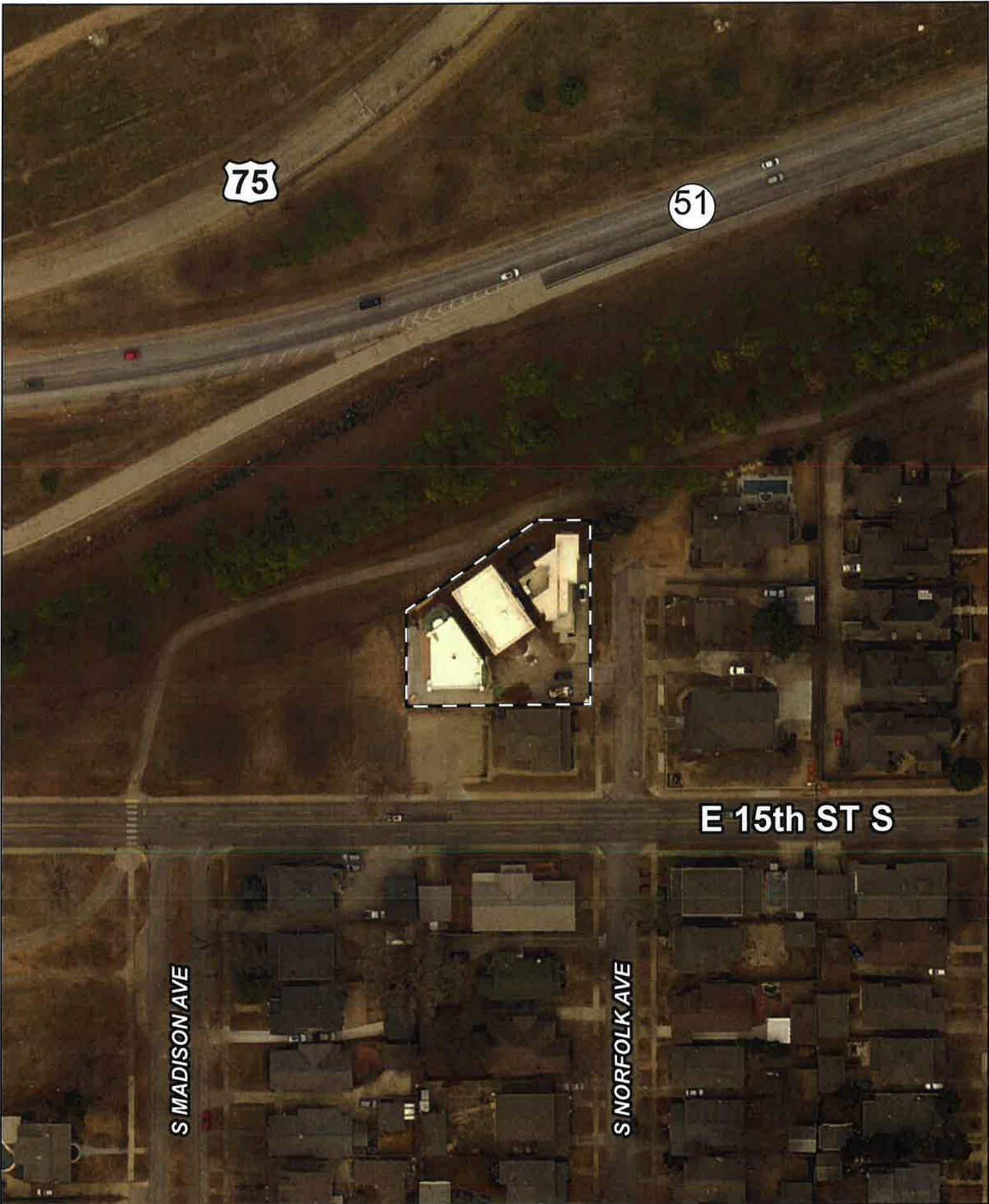
# PUD-757-A

19-12 12

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018





75

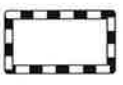
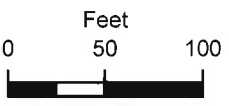
51



E 15th ST S

S MADISON AVE

S NORFOLK AVE



Subject Tract

**PUD-757-A**

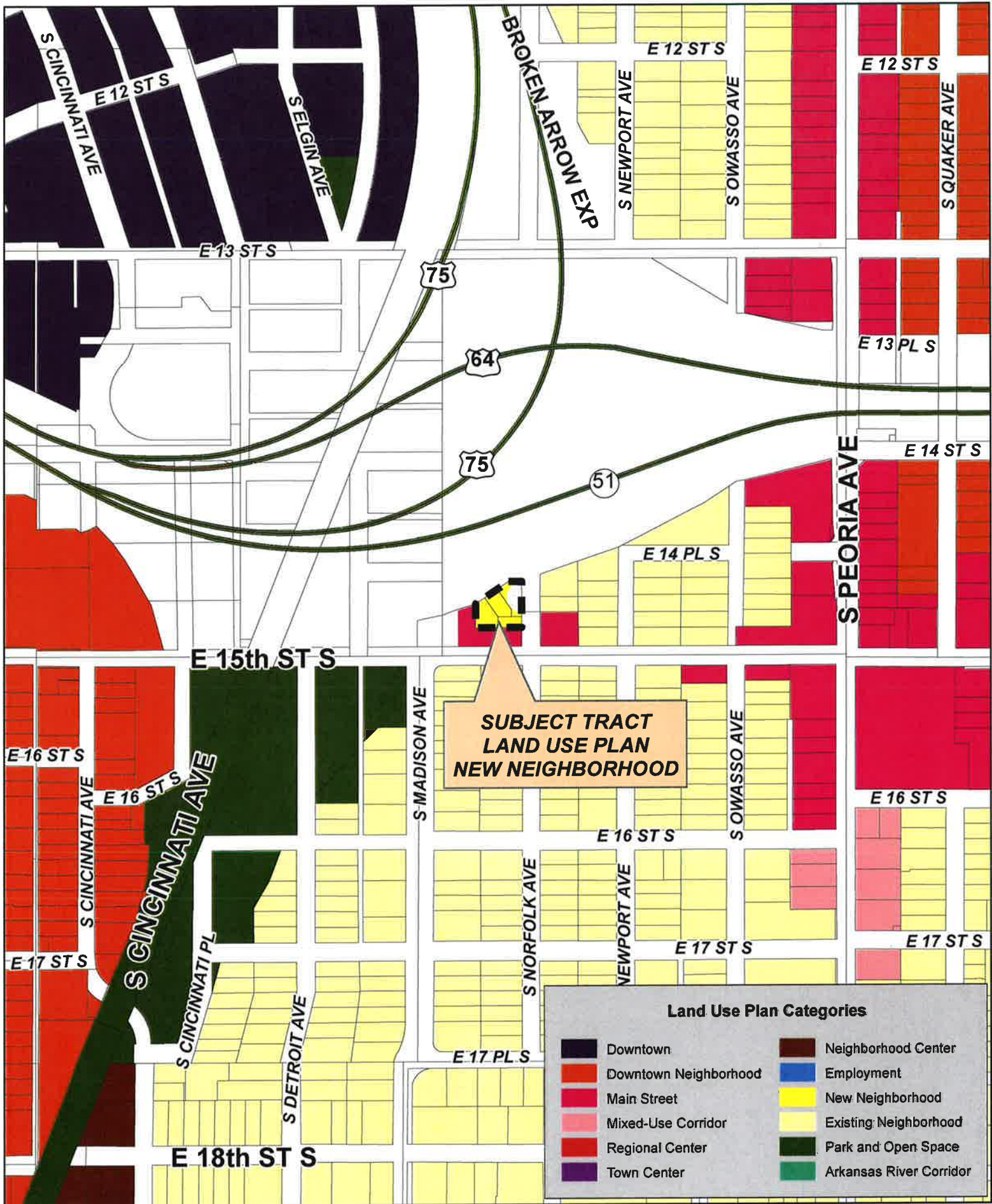
19-12 12

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018

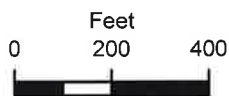
6.11





**SUBJECT TRACT  
LAND USE PLAN  
NEW NEIGHBORHOOD**

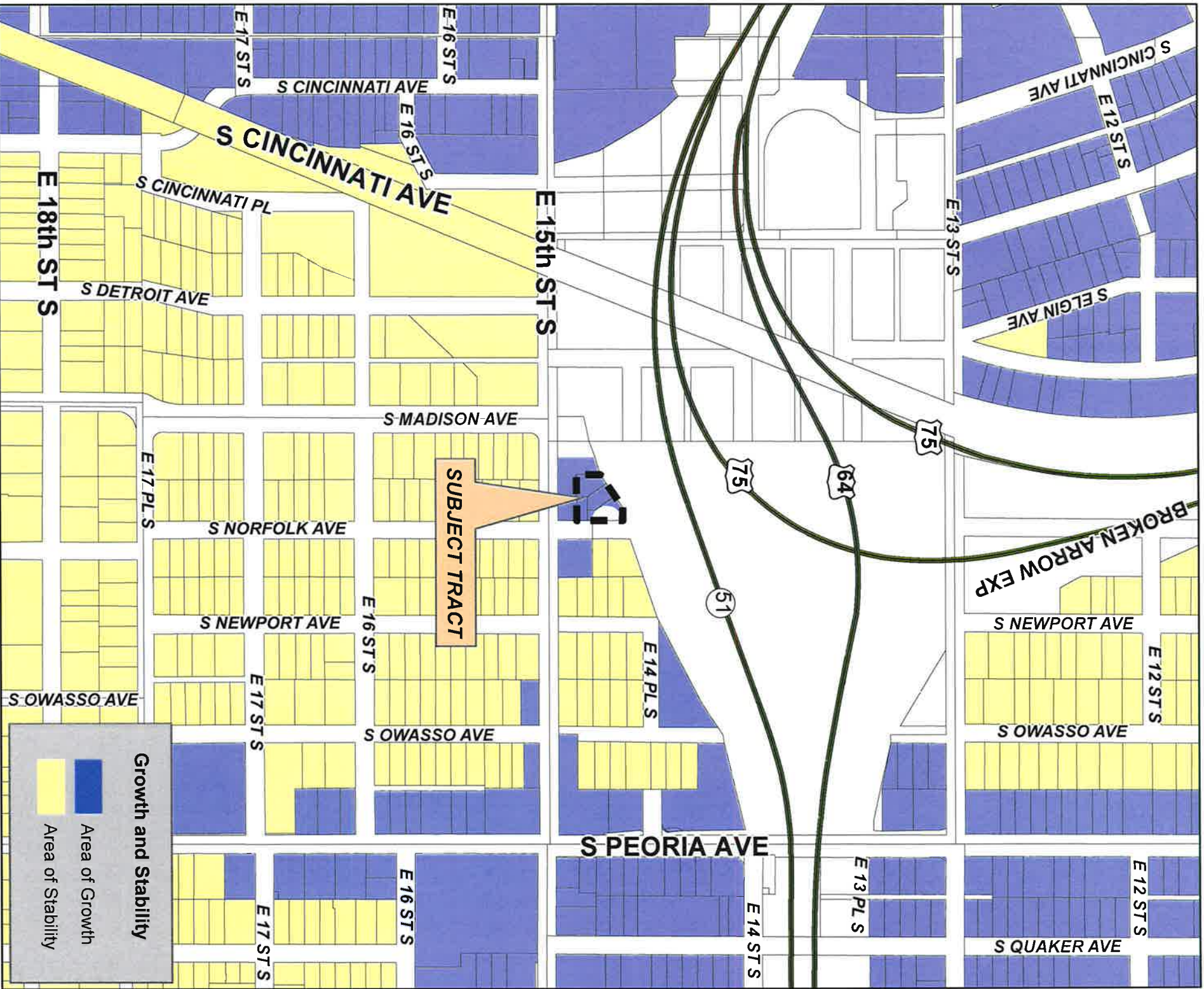
Land Use Plan Categories			
	Downtown		Neighborhood Center
	Downtown Neighborhood		Employment
	Main Street		New Neighborhood
	Mixed-Use Corridor		Existing Neighborhood
	Regional Center		Park and Open Space
	Town Center		Arkansas River Corridor



**PUD-757-A**

19-12 12

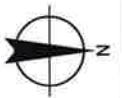




**PUD-757-A**

19-12-12

**6.13**

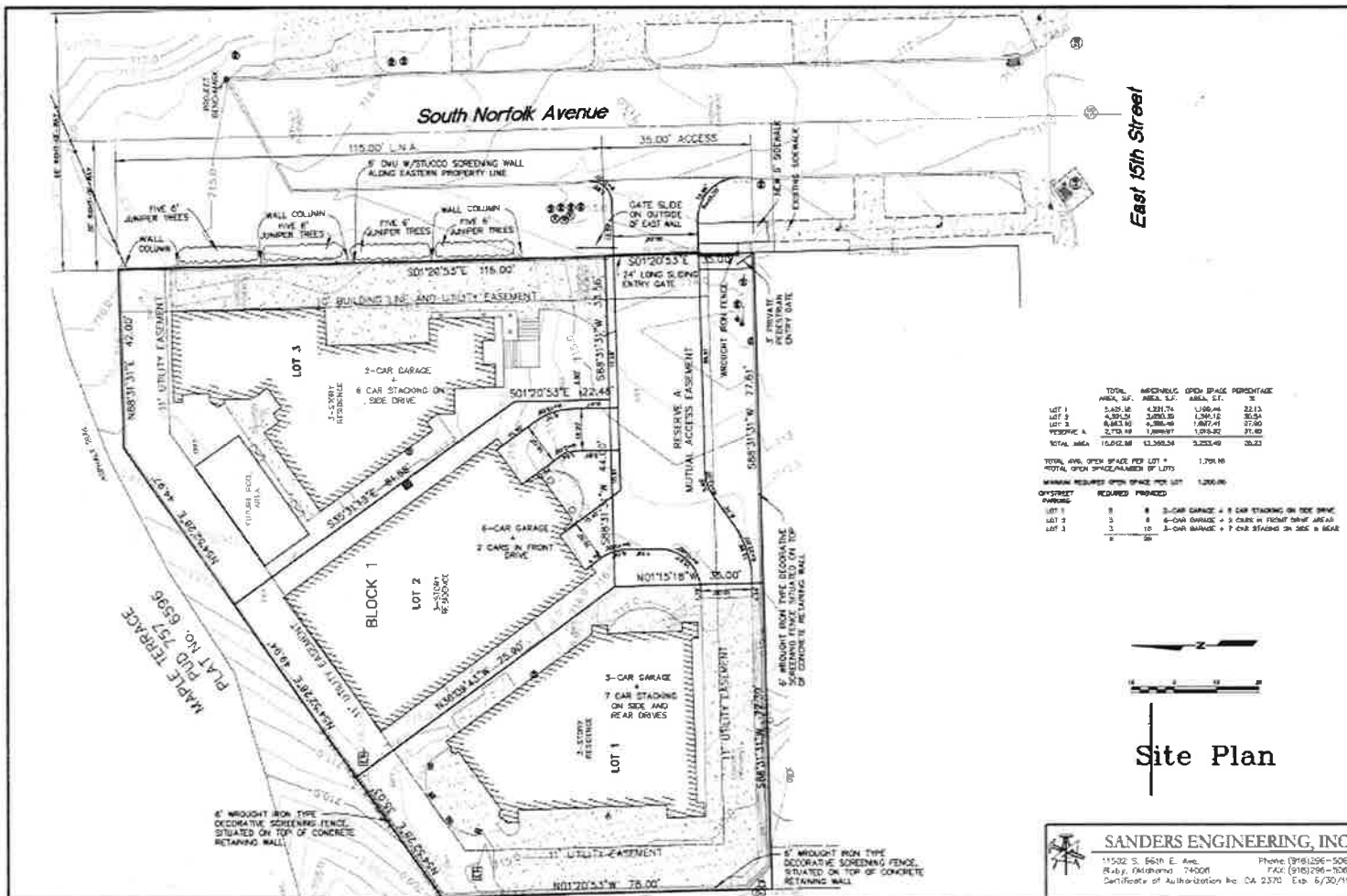


**Growth and Stability**

- Area of Growth
- Area of Stability

**MAPLE TERRACE  
PLANNED UNIT DEVELOPMENT  
(PUD NO. 757-A)**

**Exhibit "A" - Detailed Site Plan**

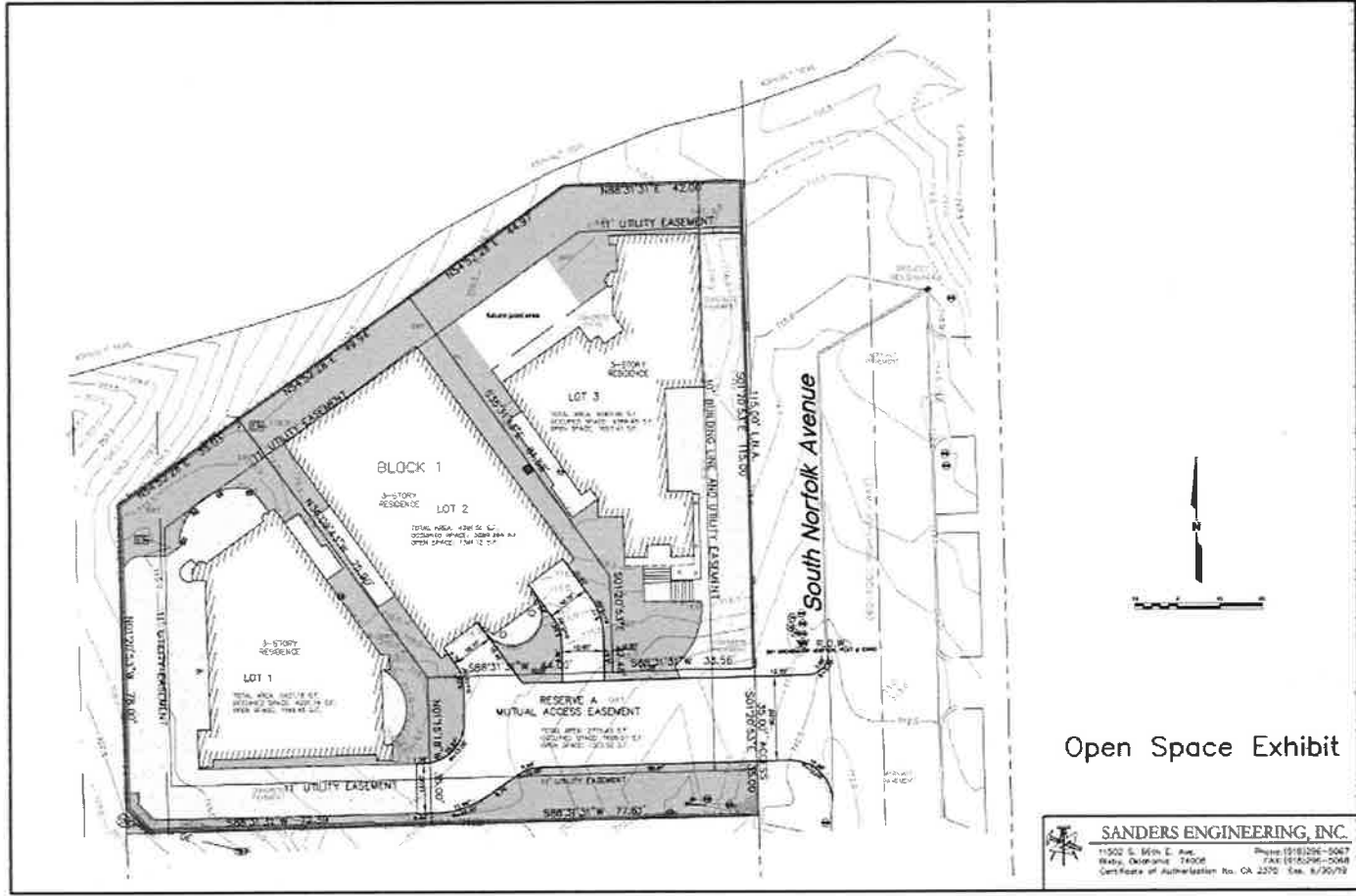


614

**SANDERS ENGINEERING, INC.**  
 11502 S. 65th E. Ave. Phone (918)296-5067  
 Tulsa, Oklahoma 74101 FAX (918)296-1000  
 Certificate of Authorization No. CA 2370 Exp. 6/30/19

**MAPLE TERRACE  
 PLANNED UNIT DEVELOPMENT  
 (PUD NO. 757-A)**

**Exhibit "B" – Open Space Exhibit**



6.15

MAPLE TERRACE  
PLANNED UNIT DEVELOPMENT  
(PUD NO. 757-A)

Exhibit "C-1" – Conceptual Gate Design and Specifications (1 of 2)

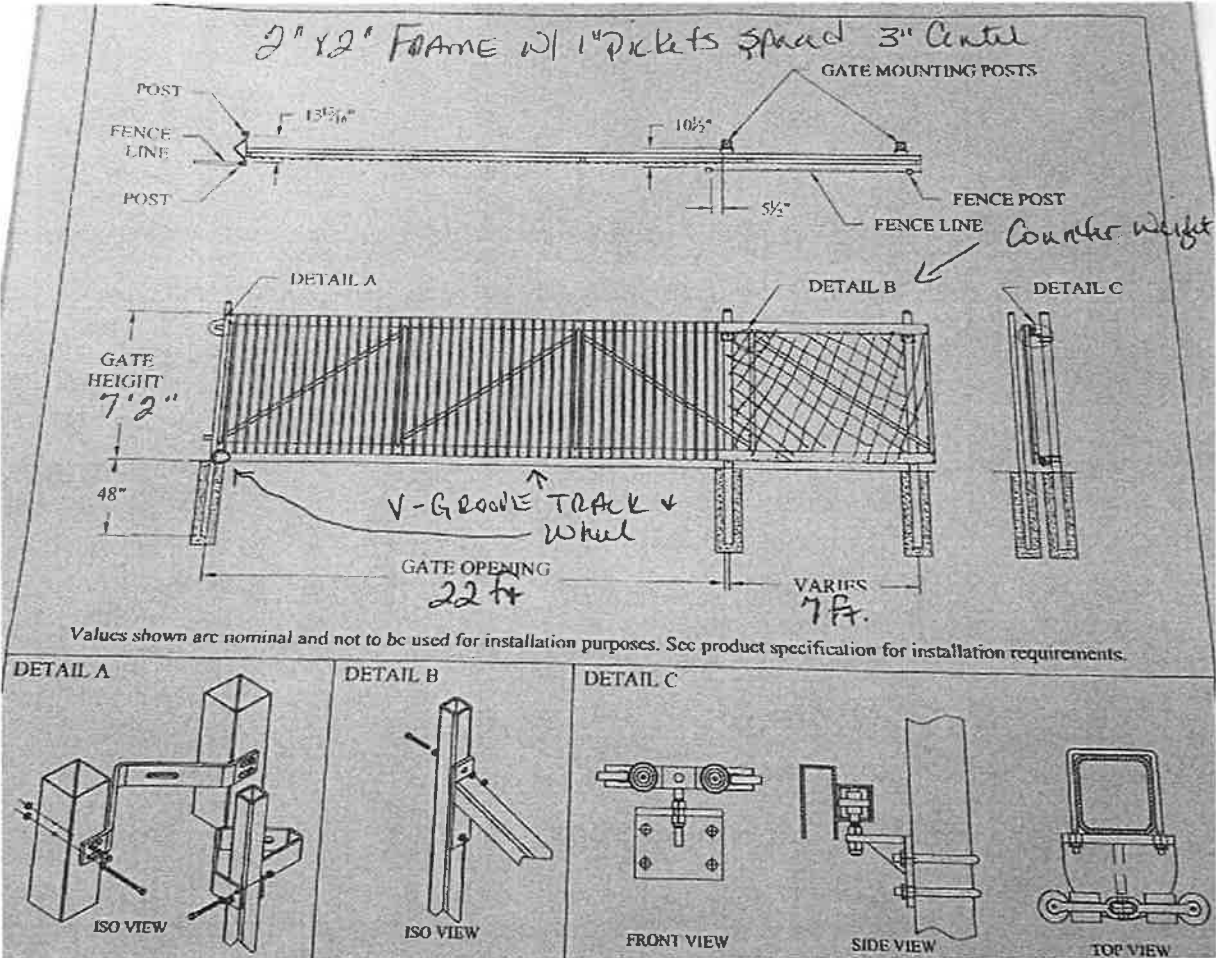


6.16



**MAPLE TERRACE  
PLANNED UNIT DEVELOPMENT  
(PUD NO. 757-A)**

**Exhibit "C-2" – Conceptual Gate Design and Specifications (2 of 2)**



6.17

MAPLE TERRACE  
PLANNED UNIT DEVELOPMENT  
(PUD NO. 757-A)

Exhibit "D-1" – Conceptual Wall / Fence Diagrams (East Elevation)



6.18

**MAPLE TERRACE  
PLANNED UNIT DEVELOPMENT  
(PUD NO. 757-A)**

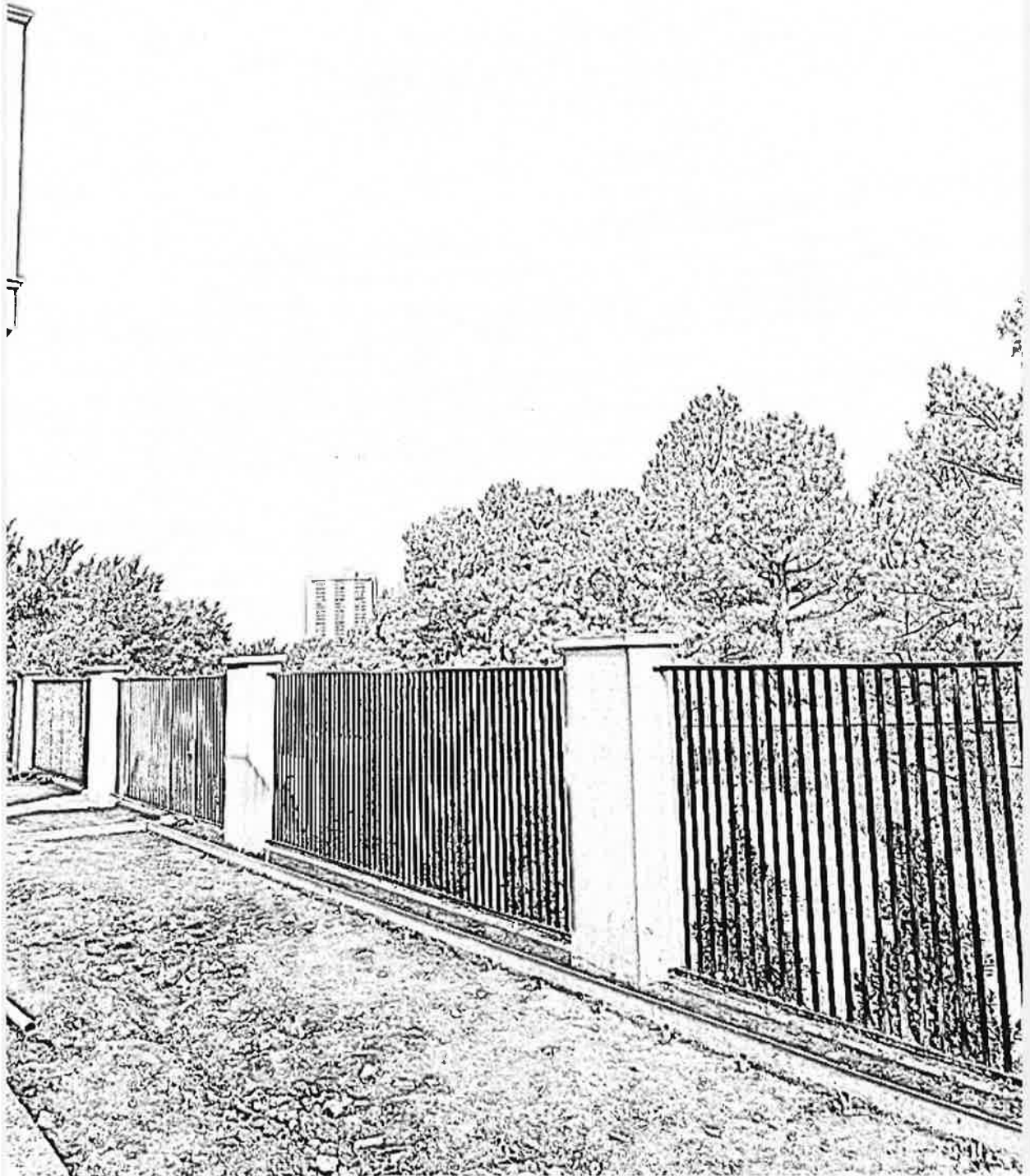
**Exhibit "D-2" – Conceptual Wall / Fence Diagrams (North Elevation)**



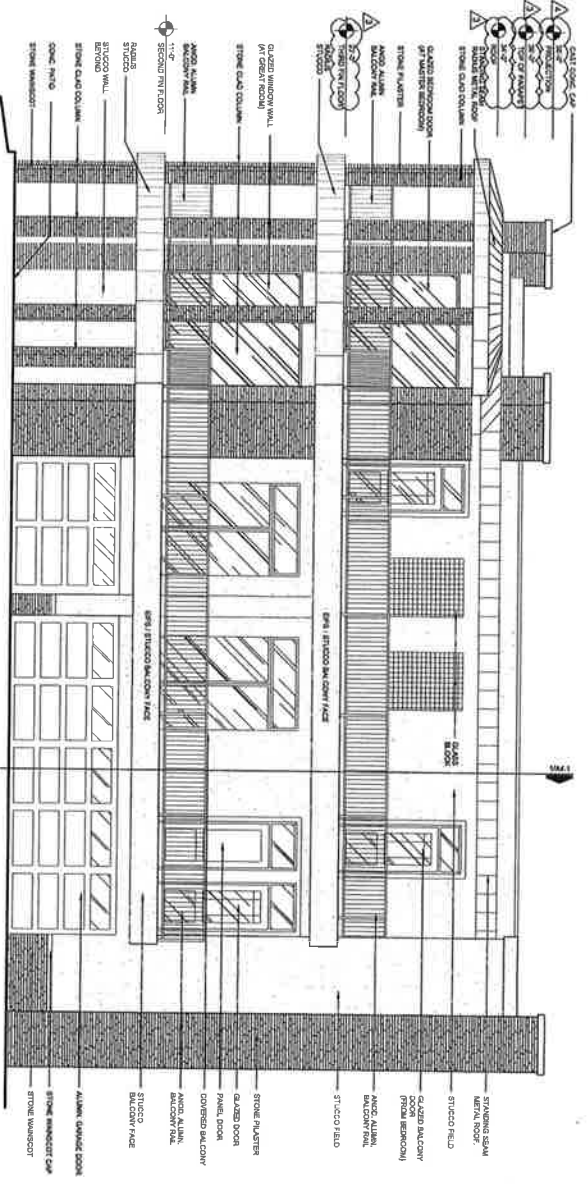
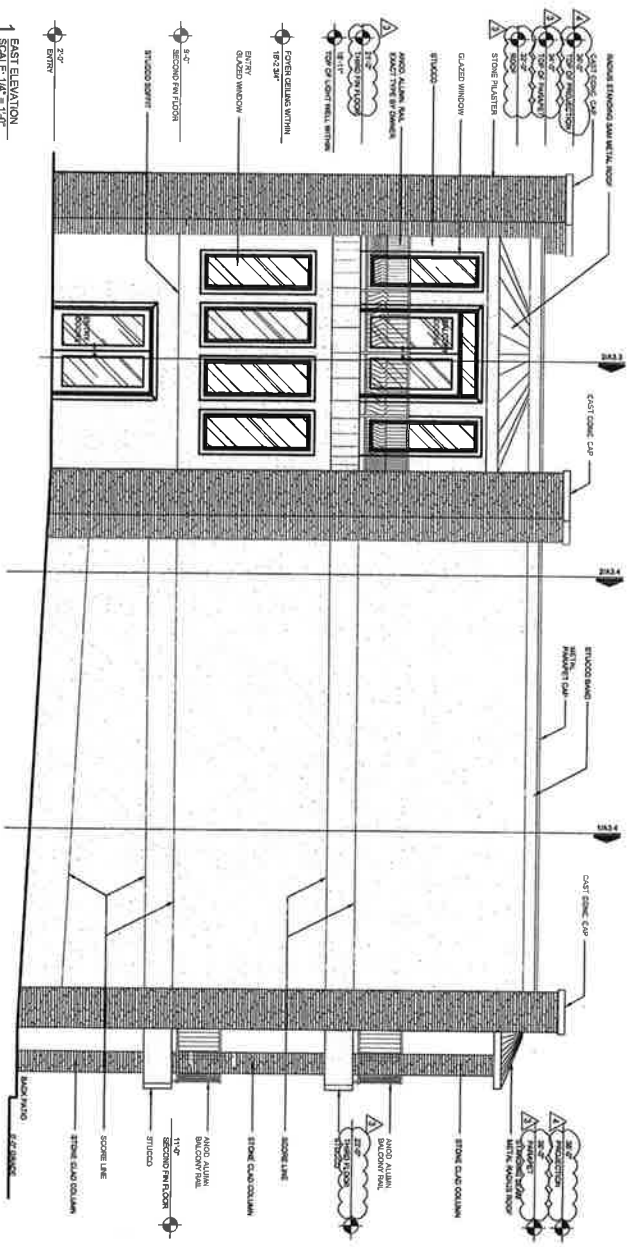
6.19

MAPLE TERRACE  
PLANNED UNIT DEVELOPMENT  
(PUD NO. 757-A)

Exhibit "D-3" – Conceptual Wall / Fence Diagrams (West Elevation)



6.21



2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

Item	Date
100% CHINA SET	3.30.2017
90% CHINA SET	4.14.2017
60% CHINA SET	4.18.2017
30% CHINA SET	5.18.2017
CONSTRUCTION	5.23.2017
CONSTRUCTION	6.14.2017
CONSTRUCTION	7.27.2017
CONSTRUCTION	7.28.2017

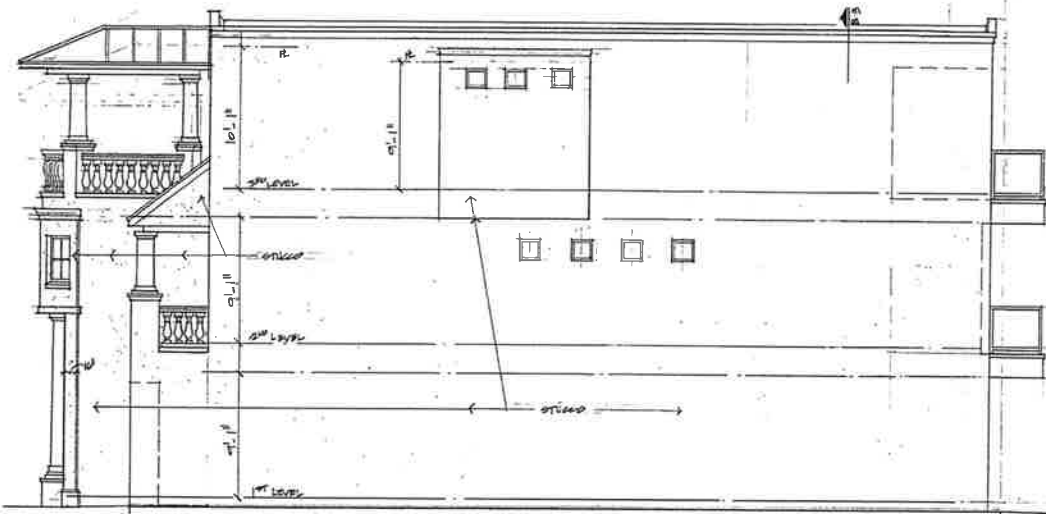
LEE SPECULATIVE PROPERTY  
SOUTH NORFOLK AVENUE  
TULSA, OKLAHOMA

Project Number: 2017-03

MATTHEW and ANASTASIA, P.C.  
1700 East Grand Avenue, Suite 100  
Tulsa, Oklahoma 74104  
Phone: 918.438.2422

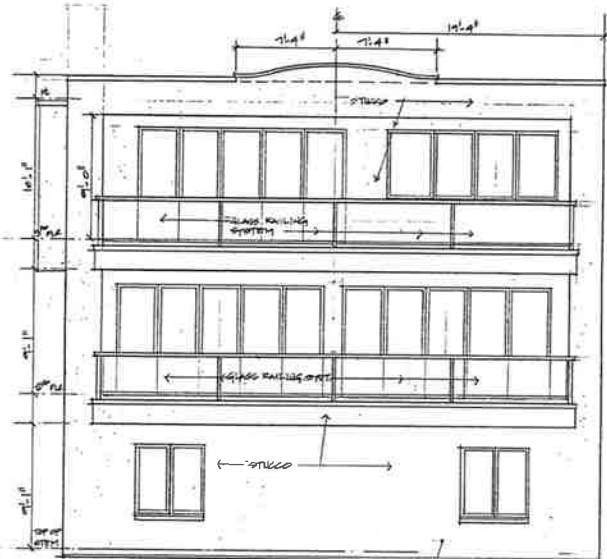
A4.1

Exhibit F.1

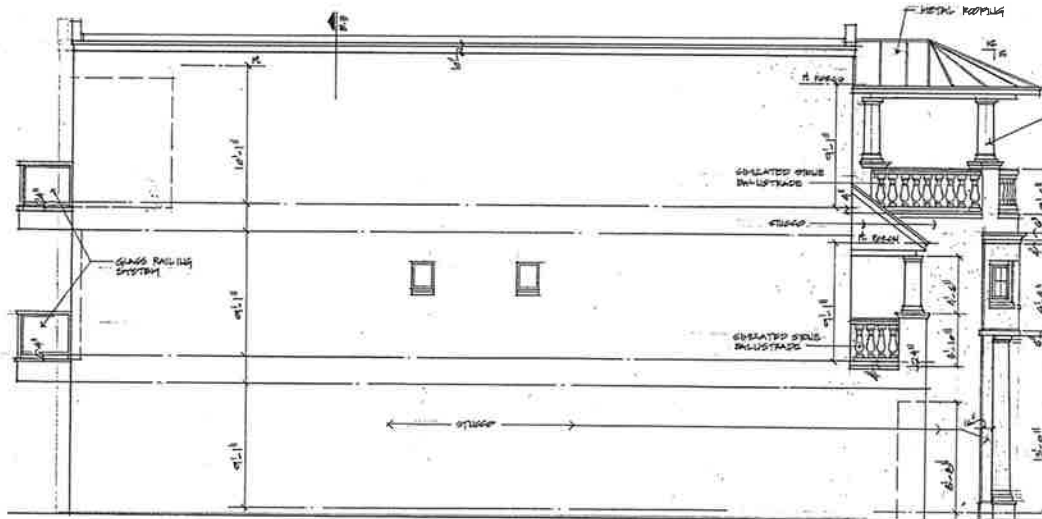


**Right Side Elevation**

1/4" = 1'-0"

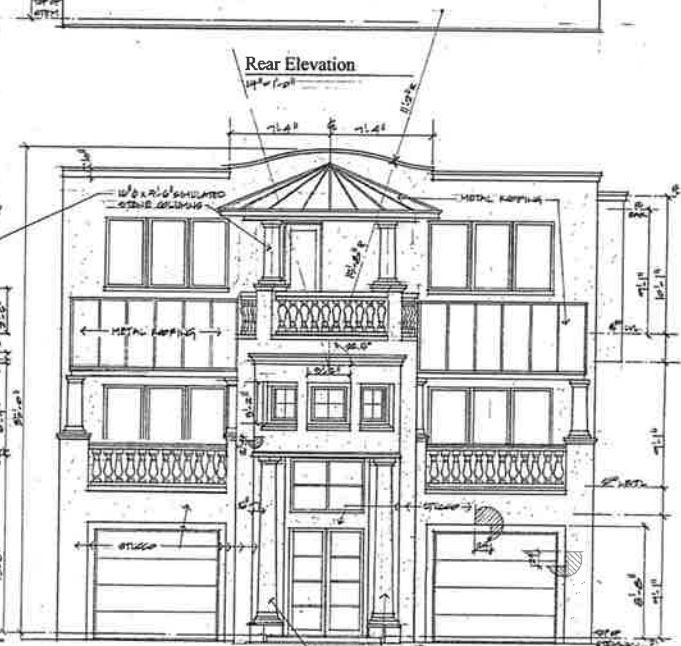


**Rear Elevation**



**Left Side Elevation**

1/4" = 1'-0"



**Front Elevation**

1/4" = 1'-0"

4.22



Randall Wayne Sligar  
**A R C H I T E C T**  
 1144 South Sibley Avenue  
 Minneapolis, MN 55404  
 Phone and Fax: (612) 336-8437

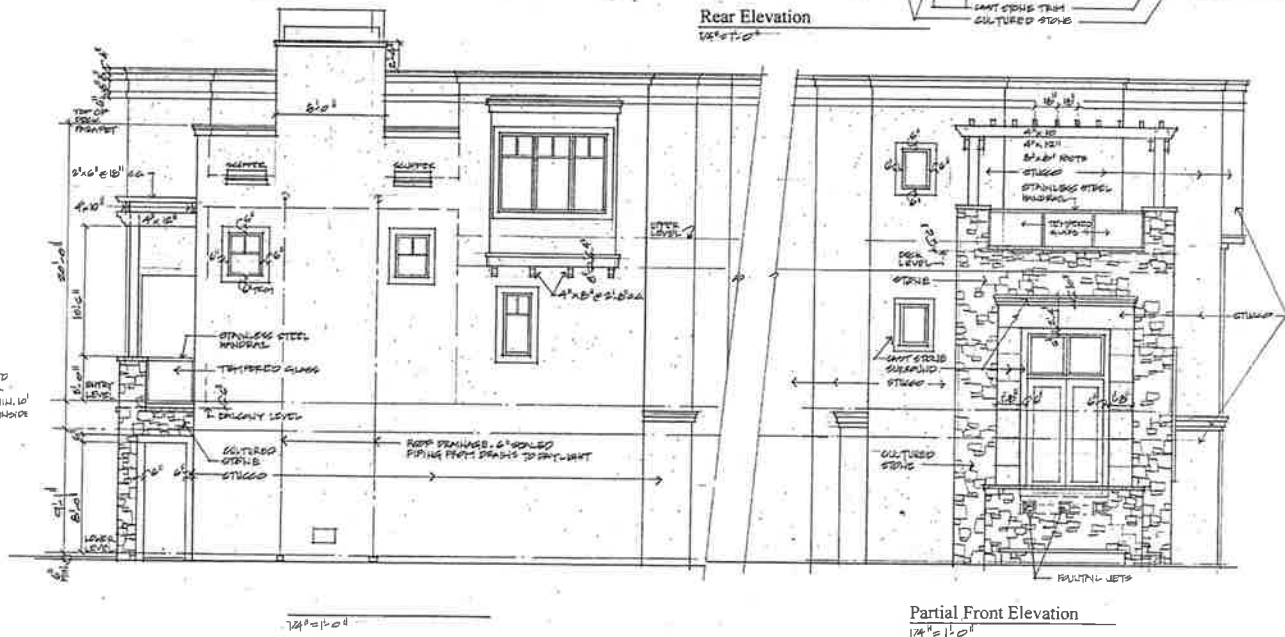
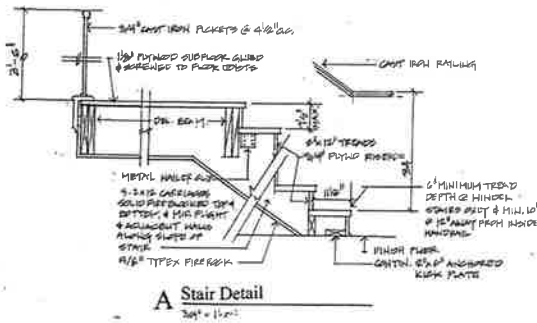


**Lees Residence**

Exhibit E.2

Project Number  
 J1721MT  
 Date  
 1/13/17  
 Sheet Number

6.23



Randall Wayne Sliger  
ARCHITECT  
11144 South Sandusky Avenue  
Truss, Oklahoma 74133  
Phone and Fax: (918)299-0300



Jackson Residence

Exhibit E-2a

Project Number  
Y1031MT  
Date  
7/15/18  
9/19/18  
Sheet Number

6.24

### Window Schedule

Item	Size	Transom	Head Height	Operation	Remarks
1	20x0		7'-6"	Casement	
2	12x0		7'-0"	Casement	
3	30x6		7'-0"	Casement	
4	12x30	Yes	13'-4"	Single Hung	
5	12x30		9'-0"	Fixed	
6	12x30	Yes	11'-0"	Fixed	
7	20x0		7'-6"	Fixed	
8	12x30		6'-0"	Fixed	
9	12x30	Yes	8'-0"	Fixed	
10	12x30		8'-0"	Fixed	
11	12x30		6'-0"	Fixed	
12	12x30		8'-0"	Casement	
13	12x30		8'-0"	Fixed	
14	20x0		12'-0"	Fixed	
15	20x0		12'-0"	Fixed	
16	20x6		7'-6"	Fixed	
17	20x0		6'-0"	Casement	

### Symbols List

Symbol	Description
1	220 Structural Breakdown
2	Structural Breakdown
3	Structural Breakdown
4	Structural Breakdown
5	Structural Breakdown
6	Structural Breakdown
7	Structural Breakdown
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45	Structural Breakdown
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47	Structural Breakdown
48	Structural Breakdown
49	Structural Breakdown
50	Structural Breakdown

### Door Schedule

Item	Size	Material	Operation	Remarks
1	3'-0" x 6'-0"	Solid Core Wood	Swing	
2	2'-0" x 6'-0"	Solid Core Wood	Swing	
3	2'-0" x 6'-0"	Solid Core Wood	Swing	
4	2'-0" x 6'-0"	Solid Core Wood	Swing	
5	2'-0" x 6'-0"	Solid Core Wood	Swing	
6	2'-0" x 6'-0"	Solid Core Wood	Swing	
7	2'-0" x 6'-0"	Solid Core Wood	Swing	
8	2'-0" x 6'-0"	Solid Core Wood	Swing	
9	2'-0" x 6'-0"	Solid Core Wood	Swing	
10	2'-0" x 6'-0"	Solid Core Wood	Swing	
11	2'-0" x 6'-0"	Solid Core Wood	Swing	
12	2'-0" x 6'-0"	Solid Core Wood	Swing	
13	2'-0" x 6'-0"	Solid Core Wood	Swing	
14	2'-0" x 6'-0"	Solid Core Wood	Swing	
15	2'-0" x 6'-0"	Solid Core Wood	Swing	
16	2'-0" x 6'-0"	Solid Core Wood	Swing	
17	2'-0" x 6'-0"	Solid Core Wood	Swing	
18	2'-0" x 6'-0"	Solid Core Wood	Swing	
19	2'-0" x 6'-0"	Solid Core Wood	Swing	
20	2'-0" x 6'-0"	Solid Core Wood	Swing	
21	2'-0" x 6'-0"	Solid Core Wood	Swing	
22	2'-0" x 6'-0"	Solid Core Wood	Swing	
23	2'-0" x 6'-0"	Solid Core Wood	Swing	
24	2'-0" x 6'-0"	Solid Core Wood	Swing	
25	2'-0" x 6'-0"	Solid Core Wood	Swing	
26	2'-0" x 6'-0"	Solid Core Wood	Swing	
27	2'-0" x 6'-0"	Solid Core Wood	Swing	
28	2'-0" x 6'-0"	Solid Core Wood	Swing	
29	2'-0" x 6'-0"	Solid Core Wood	Swing	
30	2'-0" x 6'-0"	Solid Core Wood	Swing	

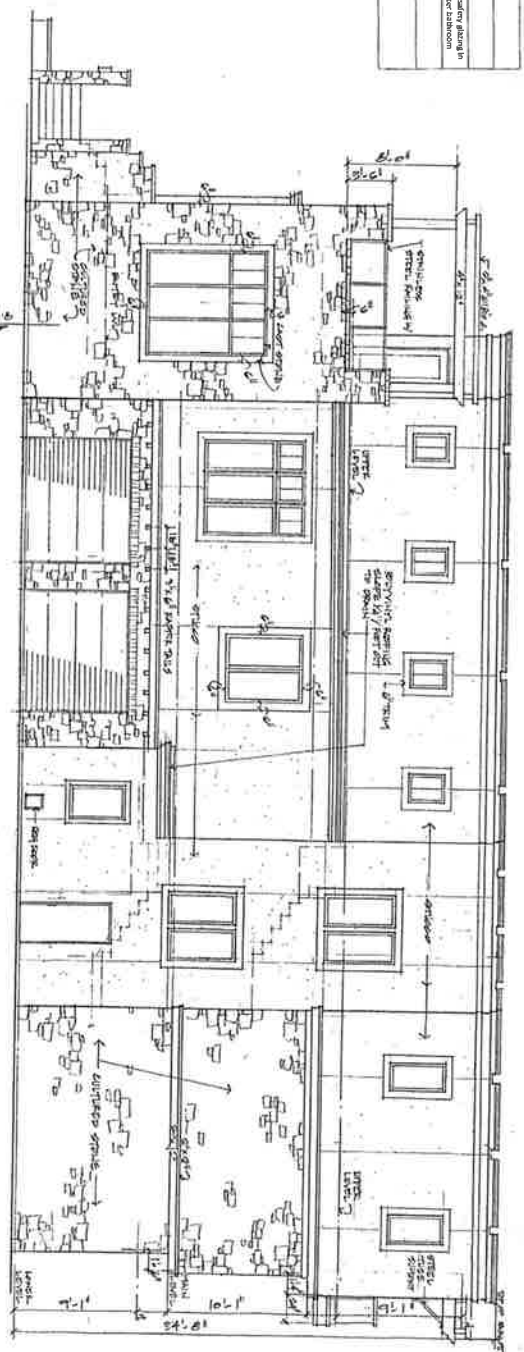
### Door Schedule

Item	Size	Material	Operation	Remarks
1	3'-0" x 6'-0"	Solid Core Wood	Swing	
2	2'-0" x 6'-0"	Solid Core Wood	Swing	
3	2'-0" x 6'-0"	Solid Core Wood	Swing	
4	2'-0" x 6'-0"	Solid Core Wood	Swing	
5	2'-0" x 6'-0"	Solid Core Wood	Swing	
6	2'-0" x 6'-0"	Solid Core Wood	Swing	
7	2'-0" x 6'-0"	Solid Core Wood	Swing	
8	2'-0" x 6'-0"	Solid Core Wood	Swing	
9	2'-0" x 6'-0"	Solid Core Wood	Swing	
10	2'-0" x 6'-0"	Solid Core Wood	Swing	
11	2'-0" x 6'-0"	Solid Core Wood	Swing	
12	2'-0" x 6'-0"	Solid Core Wood	Swing	
13	2'-0" x 6'-0"	Solid Core Wood	Swing	
14	2'-0" x 6'-0"	Solid Core Wood	Swing	
15	2'-0" x 6'-0"	Solid Core Wood	Swing	
16	2'-0" x 6'-0"	Solid Core Wood	Swing	
17	2'-0" x 6'-0"	Solid Core Wood	Swing	
18	2'-0" x 6'-0"	Solid Core Wood	Swing	
19	2'-0" x 6'-0"	Solid Core Wood	Swing	
20	2'-0" x 6'-0"	Solid Core Wood	Swing	
21	2'-0" x 6'-0"	Solid Core Wood	Swing	
22	2'-0" x 6'-0"	Solid Core Wood	Swing	
23	2'-0" x 6'-0"	Solid Core Wood	Swing	
24	2'-0" x 6'-0"	Solid Core Wood	Swing	
25	2'-0" x 6'-0"	Solid Core Wood	Swing	
26	2'-0" x 6'-0"	Solid Core Wood	Swing	
27	2'-0" x 6'-0"	Solid Core Wood	Swing	
28	2'-0" x 6'-0"	Solid Core Wood	Swing	
29	2'-0" x 6'-0"	Solid Core Wood	Swing	
30	2'-0" x 6'-0"	Solid Core Wood	Swing	

### Window Schedule

Item	Size	Transom	Head Height	Operation	Remarks
18	20x0		7'-6"	Fixed	
19	20x0		7'-6"	Casement	
20	12x30		7'-0"	Casement	Type II safety glazing in master bedroom
21	12x30		7'-0"	Fixed	
22	12x30		7'-6"	Casement on vinyl with hard core panel	

All window frames to be externally clad under by owner



# Jackson Residence

**Randall Wayne Shigar ARCHITECT**  
 11144 South Sanfusky Avenue  
 Tulsa, Oklahoma 74117  
 Phone and Fax: (918) 299-8630

Project Number: Y18017  
 Date: 7/15/15  
 Sheet Number: 7

Exhibit E.36





Tulsa Metropolitan Area  
Planning Commission

**Case Number:** Z-7448

**Hearing Date:** August 1, 2018

**Case Report Prepared by:**

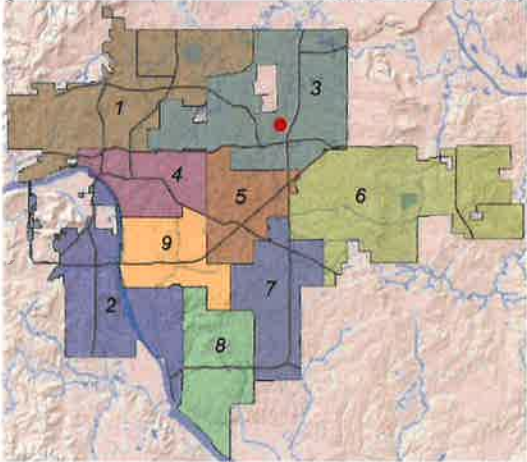
Dwayne Wilkerson

**Owner and Applicant Information:**

*Applicant:* Lou Reynolds

*Property Owner:* GIBBS, EDWARD L TRUSTEE

**Location Map:**  
**(shown with City Council Districts)**



**Applicant Proposal:**

*Present Use:* AG

*Proposed Use:* IL for warehouse

*Concept summary:* Property has never been zoned beyond AG and is undeveloped. IL Zoning is consistent with land use map of the Tulsa Comprehensive Plan.

*Tract Size:* 26.8 ± acres

*Location:* S. and E. of SE/c of E. Pine St. & N. Mingo Rd.

**Zoning:**

*Existing Zoning:* AG

*Proposed Zoning:* IL

**Comprehensive Plan:**

*Land Use Map:* Employment

*Stability and Growth Map:* Area of Growth

**Staff Recommendation:**

**Staff recommends approval**

**Staff Data:**

TRS: 0431

CZM: 31

Atlas:

**City Council District:** 3

*Councilor Name:* David Patrick

**County Commission District:** 2

*Commissioner Name:* Karen Keith

7.1

## SECTION I: Z-7448

### DEVELOPMENT CONCEPT:

Rezoning is requested to support additional light industrial growth in the area between Mingo Creek and North Mingo Road on the south side of East Pine Street. The property is surrounded by light industrial uses and an area abutting the south boundary zoned for a mobile home community. Infrastructure for that community has never been constructed.

### EXHIBITS:

INCOG Case map

INCOG Aerial

Tulsa Comprehensive Plan Land Use Map

Tulsa Comprehensive Plan Areas of Stability and Growth Map

Applicant Exhibits:

None Included

### DETAILED STAFF RECOMMENDATION:

Z-7448 requesting IL zoning is consistent with the Employment land use designation in the Tulsa Comprehensive Plan and,

IL uses are consistent with the expected development pattern in the area and,

Uses allowed in an IL district is considered non-injurious to the abutting property therefore,

**Staff recommends Approval of Z-7448 to rezone property from AG to IL.**

## SECTION II: Supporting Documentation

### RELATIONSHIP TO THE COMPREHENSIVE PLAN:

*Staff Summary:* Light industrial uses are consistent with the Employment Land Use designation of the Comprehensive Plan.

### Land Use Vision:

*Land Use Plan map designation:* Employment

Employment areas contain office, warehousing, light manufacturing and high tech uses such as clean manufacturing or information technology. Sometimes big-box retail or warehouse retail clubs are found in these areas. These areas are distinguished from mixed-use centers in that they have few residences and typically have more extensive commercial activity.

Employment areas require access to major arterials or interstates. Those areas, with manufacturing and warehousing uses must be able to accommodate extensive truck traffic, and rail in some instances. Due to the special transportation requirements of these districts, attention to design, screening and open space buffering is necessary when employment districts are near other districts that include moderate residential use.

*Areas of Stability and Growth designation:* Area of Growth

7.2

The purpose of Areas of Growth is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

Areas of Growth are found throughout Tulsa. These areas have many different characteristics but some of the more common traits are close proximity to or abutting an arterial street, major employment and industrial areas, or areas of the city with an abundance of vacant land. Also, several of the Areas of Growth are in or near downtown. Areas of Growth provide Tulsa with the opportunity to focus growth in a way that benefits the City as a whole. Development in these areas will provide housing choice and excellent access to efficient forms of transportation including walking, biking, transit, and the automobile.”

### Transportation Vision:

#### *Major Street and Highway Plan: Multi Modal Street*

Multi-modal streets emphasize plenty of travel choices such as pedestrian, bicycle and transit use. Multimodal streets are in high intensity mixed-use commercial, retail and residential areas with substantial pedestrian activity. These streets are attractive for pedestrians and bicyclists because of landscaped medians and tree lawns. Multi-modal streets can have on-street parking and wide sidewalks depending on the type and intensity of adjacent commercial land uses. Transit dedicated lanes, bicycle lanes, landscaping and sidewalk width are higher priorities than the number of travel lanes on this type of street. To complete the street, frontages are required that address the street and provide comfortable and safe refuge for pedestrians while accommodating vehicles with efficient circulation and consolidated-shared parking.

Streets on the Transportation Vision that indicate a transit improvement should use the multi-modal street cross sections and priority elements during roadway planning and design.

#### *Trail System Master Plan Considerations:*

The Go Plan illustrates a proposed trail on the west side of the Mingo creek channel abutting this property. During the plat process a trail easement may be part of the requirement along the east side of this property. Additional discussions with the INCOG transportation planning staff will be required during that process to determine the width and location of that easement.

Small Area Plan: None

Special District Considerations: None

Historic Preservation Overlay: None

### DESCRIPTION OF EXISTING CONDITIONS:

*Staff Summary:* The site is vacant with a large electrical transmission line along the east side of the property and also abuts an engineered section of the Mingo Creek Channel. Some of the perimeter of the site is heavily vegetated and most of the site is grass and low shrubs. Staff supports the IL zoning with the knowledge that the site appears to be inside the FEMA floodplain and site development will be required to meet the storm water ordinances of the City of Tulsa.

Environmental Considerations:

Most of the site is included in the FEMA flood plain or the City of Tulsa regulatory flood plain. Engineering solutions on this site will be carefully studied by the City of Tulsa prior to release of any building permit. All development on this site will meet or exceed the minimum standards for development by FEMA and the City of Tulsa.

Streets:

<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP R/W</u>	<u>Exist. # Lanes</u>
East Pine Street	Secondary Arterial with Multi-Modal Corridor designation	100 feet	2 Lane

Utilities:

The subject tract has municipal water and sewer available.

Surrounding Properties:

<b>Location</b>	<b>Existing Zoning</b>	<b>Existing Land Use Designation</b>	<b>Area of Stability or Growth</b>	<b>Existing Use</b>
North across Pine	IL	Employment	Growth	Light Manufacturing
East across Mingo creek channel	IL	Employment	Growth	Small scale light manufacturing
South	RMH east 2/3rds IL west 1/3rd	Employment	Growth	Undeveloped and some unknown industrial uses
West	IL	Employment	Growth	Mixed industrial, auto repair, salvage and light industrial uses

**SECTION III: Relevant Zoning History**

**ZONING ORDINANCE:** Ordinance number 11811 dated June 26, 1970, established zoning for the subject property.

**Subject Property:** No relevant history

**Surrounding Property:**

**Z-7363 December 2016:** All concurred in **approval** of a request for *rezoning* a 2.08± acre tract of land from AG to CG on property located on the southeast corner of North Mingo Road and East Pine Street.

**Z-7223 June 2013:** All concurred in **approval** of a request for *rezoning* a 1.02± acre tract of land from CS to IL, for future industrial use, on property located east of northeast corner of North Mingo Road and East Pine Street North

**Z-7199 May 2012:** All concurred in **approval** of a request for *rezoning* a 3± acre tract of land from CS to IL for future industrial use, on property located east of northeast corner of North Mingo Road and East Pine Street.

**Z-7127 May 2009:** All concurred in **approval** of a request for *rezoning* a 5.89± acre tract of land from AG to IL for light manufacturing on property located, south of southeast corner East Pine Street and North Mingo Road and abutting south of subject property.

**Z-6998 September 2005:** All concurred in **approval** of a request for *rezoning* a 38.03± acre tract of land from RM-2 to IL for light industrial park use, on property located south and west of southwest corner of East Pine Street North and Highway 169 North.

**Z-6946 July 2004:** All concurred in **approval** of a request for *rezoning* a 5± acre tract of land from OL to IL for light manufacturing and warehouse use, on property located east of northeast corner of East Pine Street and North Mingo Road.

**BOA-18238 November 24, 1998:** The Board of Adjustment **approved** a *Special Exception* to permit a convenience store (QuikTrip) in an IL district, on property located at the northwest corner of E. Pine St. and N. Mingo Rd.

**Z-5789 May 1984:** All concurred in **approval** of a request for *rezoning* a 25± acre tract of land from IL to RMH on property located south and east of the southeast corner of North Mingo Road and East Pine Street. The property abuts a portion of the southern border of the subject property.

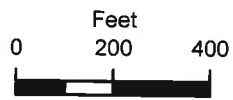
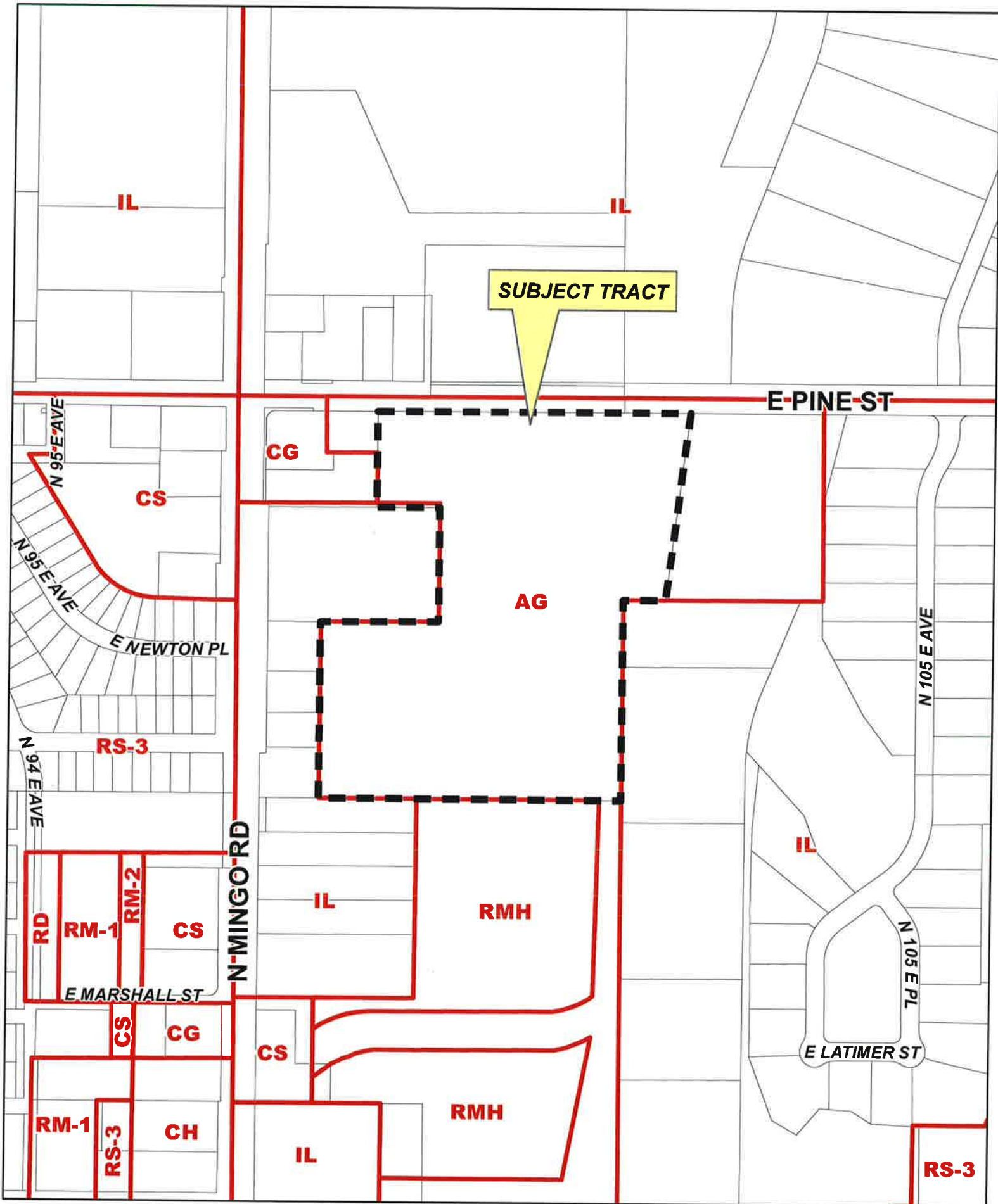
**Z-5367 March 1980:** All concurred in **approval** of a request for *rezoning* two tracts of land from RS-2 to IL on property located south of the southeast corner of North Mingo Road and East Pine Street. The property abuts a portion of the western border of the subject property.

**Z-5312 November 1979:** All concurred in **approval** of a request for *rezoning* a tract of land from RS-2 to IL on property located south of the southeast corner of North Mingo Road and East Pine Street. The property abuts a portion of the southern border of the subject property.

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REVISED 7/24/2018



**Z-7448**

20-14 31





E PINE ST

N 95 E AVE

N 95 E AVE

E NEWTON PL

N 94 E AVE

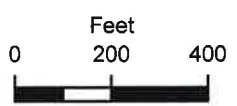
N MINGO RD

E MARSHALL ST

N 105 E AVE

N 105 E PL

E LATIMER ST



 Subject Tract

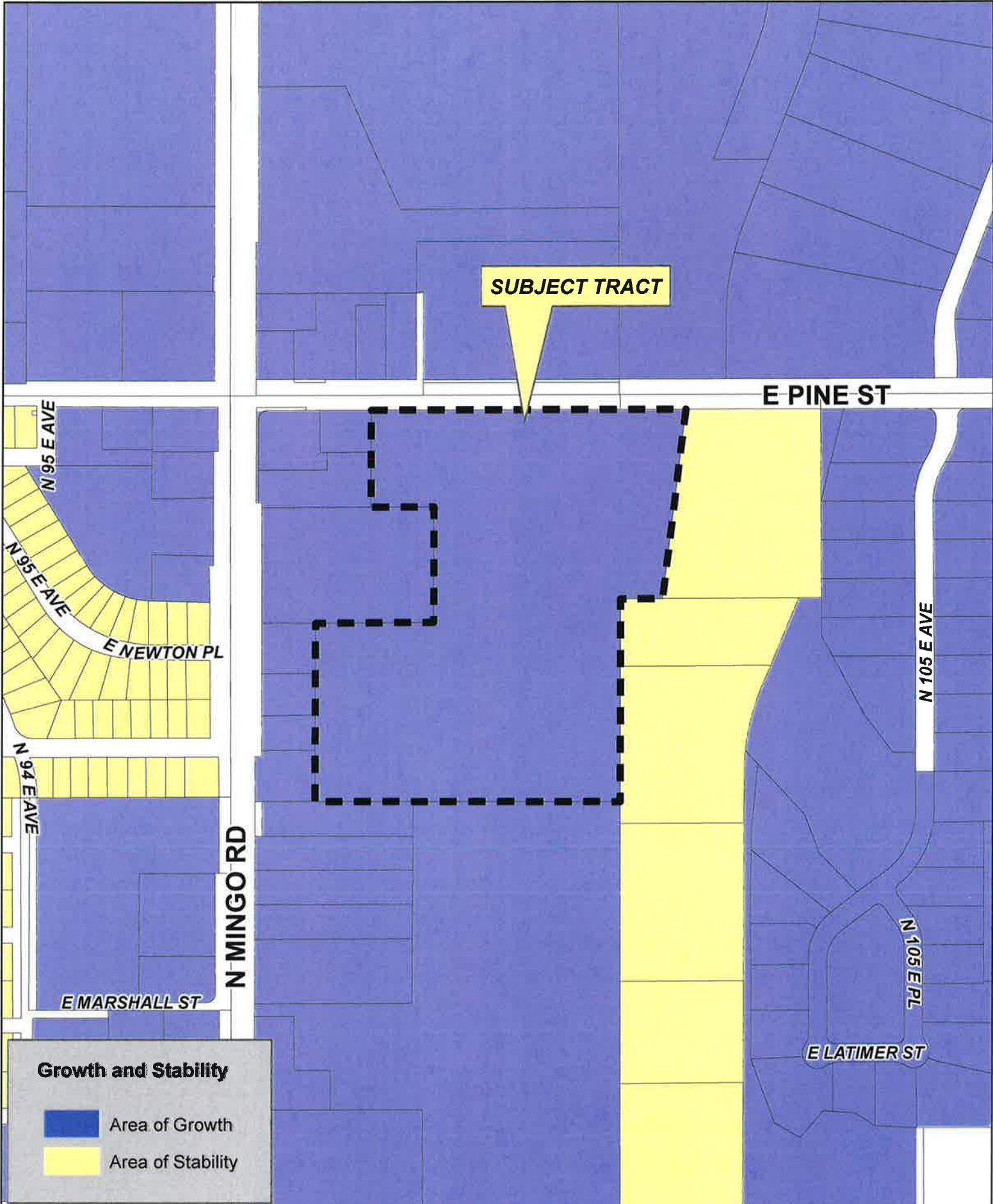
**Z-7448**

20-14 31

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018





SUBJECT TRACT

E PINE ST

N 95 E AVE

N 95 E AVE

E NEWTON PL

N 94 E AVE

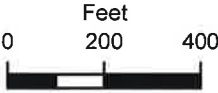
N MINGO RD

E MARSHALL ST

N 105 E AVE

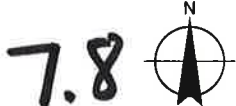
N 105 E PL

E LATIMER ST

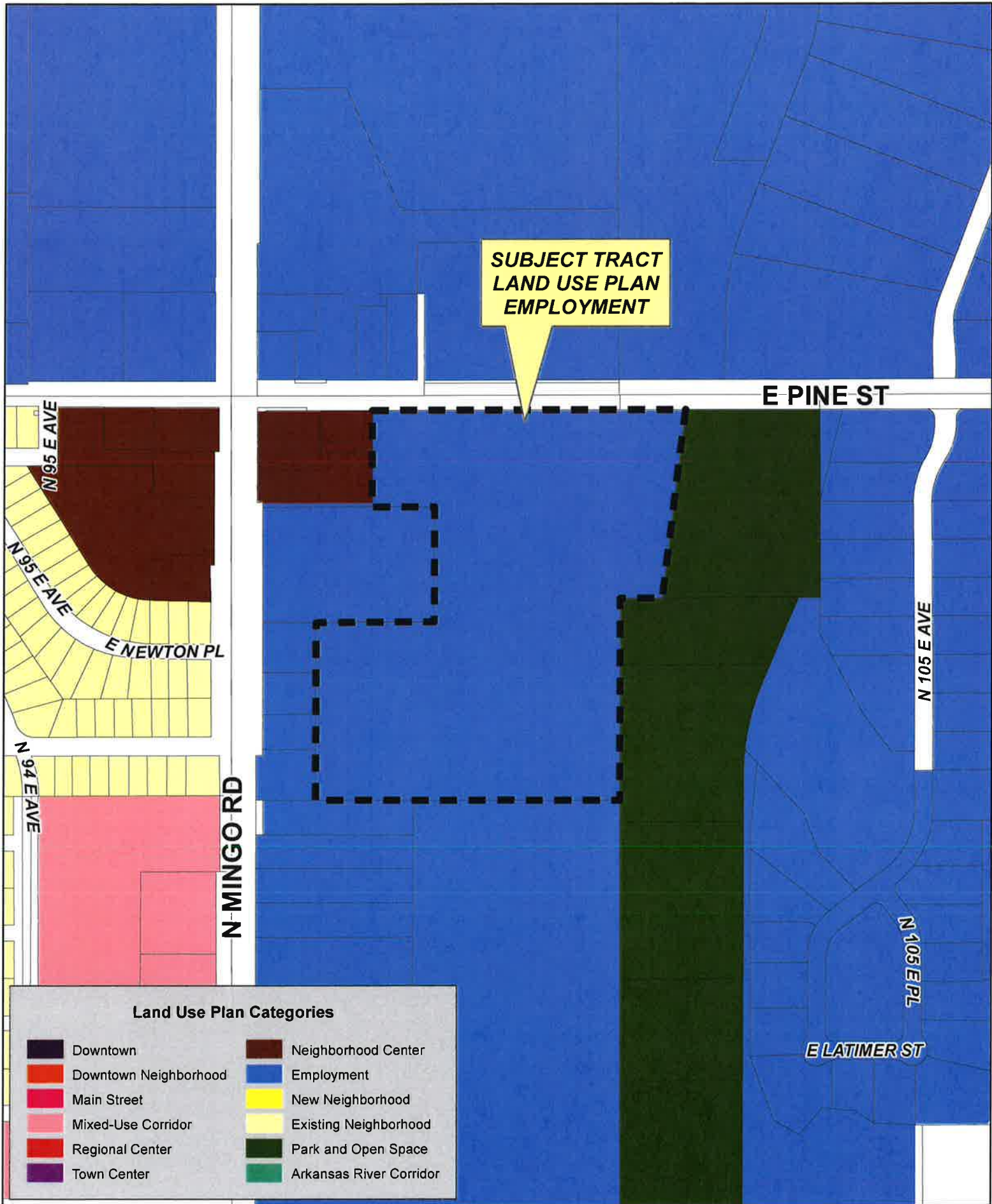


Z-7448

20-14 31







**SUBJECT TRACT  
LAND USE PLAN  
EMPLOYMENT**

**E PINE ST**

**N 95 E AVE**

**N 95 E AVE**  
**E NEWTON PL**

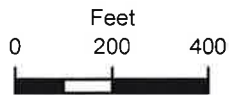
**N MINGO RD**

**N 94 E AVE**

**N 105 E AVE**

**N 105 E PL**

**E LATIMER ST**



**Z-7448**

20-14 31







Tulsa Metropolitan Area  
Planning Commission

**Case Number: Z-7449**

**Hearing Date: August 1, 2018**

**Case Report Prepared by:**

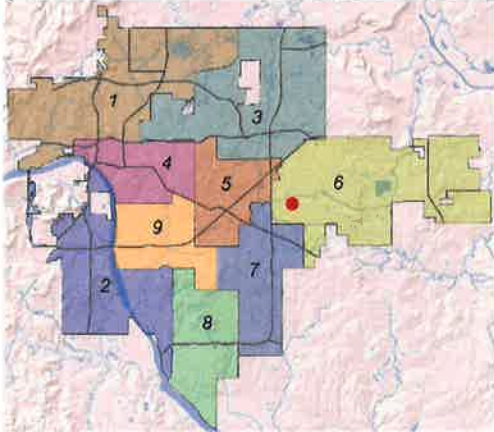
Dwayne Wilkerson

**Owner and Applicant Information:**

*Applicant:* Nicole Watts

*Property Owner:* INDEPENDENT SCHOOL DIST

**Location Map:  
(shown with City Council Districts)**



**Applicant Proposal:**

*Present Use:* vacant

*Proposed Use:* Medical Office

*Concept summary:* None provided by applicant:  
The proposed development has not been identified beyond rezoning required for a Medical Office.

*Tract Size:* 4.91 ± acres

*Location:* SW/c of E. 31<sup>st</sup> St. S. & S. 120<sup>th</sup> E. Pl.

**Zoning:**

*Existing Zoning:* AG

*Proposed Zoning:* OL

**Comprehensive Plan:**

*Land Use Map:* Existing Neighborhood

*Stability and Growth Map:* Area of Growth

**Staff Recommendation:**

**Staff recommends approval.**

**Staff Data:**

TRS: 9420

CZM: 49

Atlas: 862

**City Council District: 6**

*Councilor Name:* Connie Dodson

**County Commission District: 1**

*Commissioner Name:* Mike Craddock

8.1

## SECTION I: Z-7449

### DEVELOPMENT CONCEPT:

None provided by the applicant. The application submittal included a reference to Community Health Connection.

Community Health Connection is represented as follows on their website:

*“Community Health Connection will provide quality and accessible health care across all life cycles regardless of ability to pay and we will respect the dignity and culture of our community now and in the future.*

*Community Health Connection is a Federally Qualified Health Center (FQHC) committed to meeting the lifelong health care needs of the northeast Oklahoma community. We provide the highest quality, affordable and accessible primary health care services in a culturally effective, language-appropriate and compassionate manner. We serve individuals who are uninsured by offering a sliding fee scale to those who qualify, and those with Medicaid (SoonerCare) and Medicare, Insure Oklahoma and many with private insurance.*

*We focus on meeting the health care needs of the patients in our community by providing a broad array of services. If you are looking for medical providers and clinic staff who will treat you with respect and dignity, then Community Health Connection is for you. We want our medical practice to be your connection to a healthy life.”*

### EXHIBITS:

INCOG Case map

INCOG Aerial (small scale)

INCOG Aerial (large scale)

Tulsa Comprehensive Plan Land Use Map

Tulsa Comprehensive Plan Areas of Stability and Growth Map

Applicant Exhibits:

Exhibit illustrating legal description.

### DETAILED STAFF RECOMMENDATION:

Z-7449 request OL zoning. That zoning district is primarily intended to facilitate the development and preservation of low-intensity office development. The OL zoned district requested by the applicant is not consistent with the Existing Neighborhood land use designation and the applicant has not provided any details illustrating the expected development intensity on the site. A health clinic is complimentary to the new school site recently constructed immediately west of this site. The property is currently owned by the Independent School District 9 of Tulsa County and,

OL zoning is consistent with the school site conceptual plan that was heard by the City of Tulsa Board of Adjustment in 2014 so the anticipated use is consistent with the expected development in the area and,

OL zoning is normally considered a transitional zoning category between higher intensity districts and single family residential style of development therefore,

**Staff recommends Approval of Z-7449 to rezone property from AG to OL.**

## SECTION II: Supporting Documentation

8.2

## RELATIONSHIP TO THE COMPREHENSIVE PLAN:

*Staff Summary:* Light office uses are not generally consistent with the Existing Neighborhood land use designation. In some circumstances on the edges where that land use abuts arterial streets and are complimentary with public uses such as schools OL zoning may be an appropriate zoning designation. This application does not provide additional limitations or design considerations other than those offered by the Zoning Code. In consideration with the previously approved uses at the Board of Adjustment and the street infrastructure that isolates this site from abutting single family development staff can support OL zoning to allow a medical office that has the stated purposed of providing community health care in conjunction with the school on the property. OL zoning at this location is consistent with the Area of Growth designation that encourages access to services with fewer and shorter auto trips and supports economic activity in the area.

### Land Use Vision:

*Land Use Plan map designation:* Existing Neighborhood

The Existing Neighborhood category is intended to preserve and enhance Tulsa's existing single-family neighborhoods. Development activities in these areas should be limited to the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects, as permitted through clear and objective setback, height, and other development standards of the zoning code. In cooperation with the existing community, the city should make improvements to sidewalks, bicycle routes, and transit so residents can better access parks, schools, churches, and other civic amenities.

*Areas of Stability and Growth designation:* Area of Growth

The purpose of Areas of Growth is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

Areas of Growth are found throughout Tulsa. These areas have many different characteristics but some of the more common traits are close proximity to or abutting an arterial street, major employment and industrial areas, or areas of the city with an abundance of vacant land. Also, several of the Areas of Growth are in or near downtown. Areas of Growth provide Tulsa with the opportunity to focus growth in a way that benefits the City as a whole. Development in these areas will provide housing choice and excellent access to efficient forms of transportation including walking, biking, transit, and the automobile."

### Transportation Vision:

*Major Street and Highway Plan:* None

*Trail System Master Plan Considerations:* None

Small Area Plan: None

Special District Considerations: None

Historic Preservation Overlay: None

DESCRIPTION OF EXISTING CONDITIONS:

*Staff Summary: The property is undeveloped and surrounded by private drives or public streets with no significant elevation changes or vegetation. The zoning boundary has been prepared without regard to the existing vehicular circulation pattern.*

Environmental Considerations: None that would affect site development

Streets:

<u>Exist. Access</u>	<u>MSHP Design</u>	<u>MSHP RW</u>	<u>Exist. # Lanes</u>
East 31 <sup>st</sup> Street South	Secondary Arterial	100 feet	5 lanes (4 with a center turn lane)

Utilities:

The subject tract has municipal water and sewer available.

Surrounding Properties:

<b>Location</b>	<b>Existing Zoning</b>	<b>Existing Land Use Designation</b>	<b>Area of Stability or Growth</b>	<b>Existing Use</b>
North Across E. 31 <sup>st</sup> Street	AG	Park and open space	Stability	Regional storm water detention
East	RS-3	Existing Neighborhood	Stability	Single family residential
South	AG	Existing Neighborhood	Stability	Undeveloped open space
West	AG	Existing Neighborhood	Stability	School

**SECTION III: Relevant Zoning History**

**ZONING ORDINANCE:** Ordinance number 11825 dated June 26, 1970, established zoning for the subject property.

***Subject Property:***

**BOA-22272 June 27, 2018:** The Board of Adjustment **approved** a *special exception* to permit a dynamic display located within 200 feet of an R zoned district; a *variance* to increase the number of permitted wall signs on a building in an AG district from one to two; a *variance* to increase the permitted sign display area of wall signs from 32 sq. ft. to 95.5 sq. ft.; and a *special exception* to permit

8.4

a dynamic display in an AG zoned district, on property located at the southwest corner of East 31<sup>st</sup> Street South and South 120<sup>th</sup> East Place, a part of the subject tract.

**BOA-21749 July 22, 2014:** The Board **approved** a *special exception* to permit a Elementary School in an AG district, on property located at the southwest corner of East 31<sup>st</sup> Street South and South 120<sup>th</sup> East Place, a part of the subject tract. (Note: The conceptual plan approved by the Board of Adjustment included a CAP building at the northeast corner of the site. The CAP building was an office use)



LEGEND	USE CATEGORIES / USE CONDITIONS
↑	VEHICULAR TRAFFIC
△	BUS TRAFFIC
↑	PEDESTRIAN TRAFFIC
<b>PARKING REQUIREMENTS</b>	
1 PER 200 SF FOR OFFICE OCCUPANCY	226 REQUIRED - 226 PROVIDED
1 PER 1,200 SF FOR SCHOOL OCCUPANCY	117 REQUIRED - 192 PROVIDED
1 PER 900 SF FOR EARLY CHILDHOOD OCCUPANCY	46 REQUIRED - 99 PROVIDED
<b>TOTAL:</b>	<b>387 REQUIRED - 530 PROVIDED</b>
<b>SITE DENSITY</b>	
USE UNIT 5 ALLOWS FOR A .5 MAX	
NEW BUILDING TOTAL FLOORFOT 202,067 SF	
TOTAL SITE SQUAREFOOTAGE 1,484,740 SF	
SITE DENSITY	.14
	.14<.5
<b>SET BACKS</b>	
85'-00" FROM THE CENTERLINE OF 31 ST.	
25'-00" FROM REMAINING PROPERTY LINES	

**CONCEPT SITE PLAN @ UNION #14**  
Union Public Schools

BOA-21749

DonBerry

10/12

**BOA-20984 January 12, 2010:** The Board of Adjustment **approved** a *variance* of the requirement that illumination of a sign shall be by constant light to permit an LED element on a sign for a church in the AG district (Section 302.B.2); and a *variance* of the maximum display surface area permitted for a sign in the AG district from 150 sq. ft. to 245 sq. ft. (Section 302.B.2.b), noting there is no need for the variance of the height as it has been reduced to limits allowed in the code; with conditions that there be no animated flashing, no rolling or other unusual illuminations, etc., on property located east of the southeast corner of the South Garnett Road and East 31<sup>st</sup> Street South.

**BOA-17541 October 22, 1996:** The Board **approved** a *special exception* to allow a 100' self-supported tower antenna in an AG district subject, on property located at the southwest corner of East 31<sup>st</sup> Street South and South 120<sup>th</sup> East Place, a part of the subject tract.

**BOA-14405 March 5, 1987:** The Board of Adjustment **denied** a use *variance* to permit a retirement complex in an AG district; and **denied** a *variance* of land area per dwelling unit of 2.2 acres, on property located at the southwest corner of East 31<sup>st</sup> Street South and South 120<sup>th</sup> East Place, a part of the subject tract.

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**BOA-9735 November 3, 1977:** The Board **approved** a *special exception* to use the property for church and church related uses, on property located at the southwest corner of East 31<sup>st</sup> Street South and South 120<sup>th</sup> East Place, a part of the subject tract.

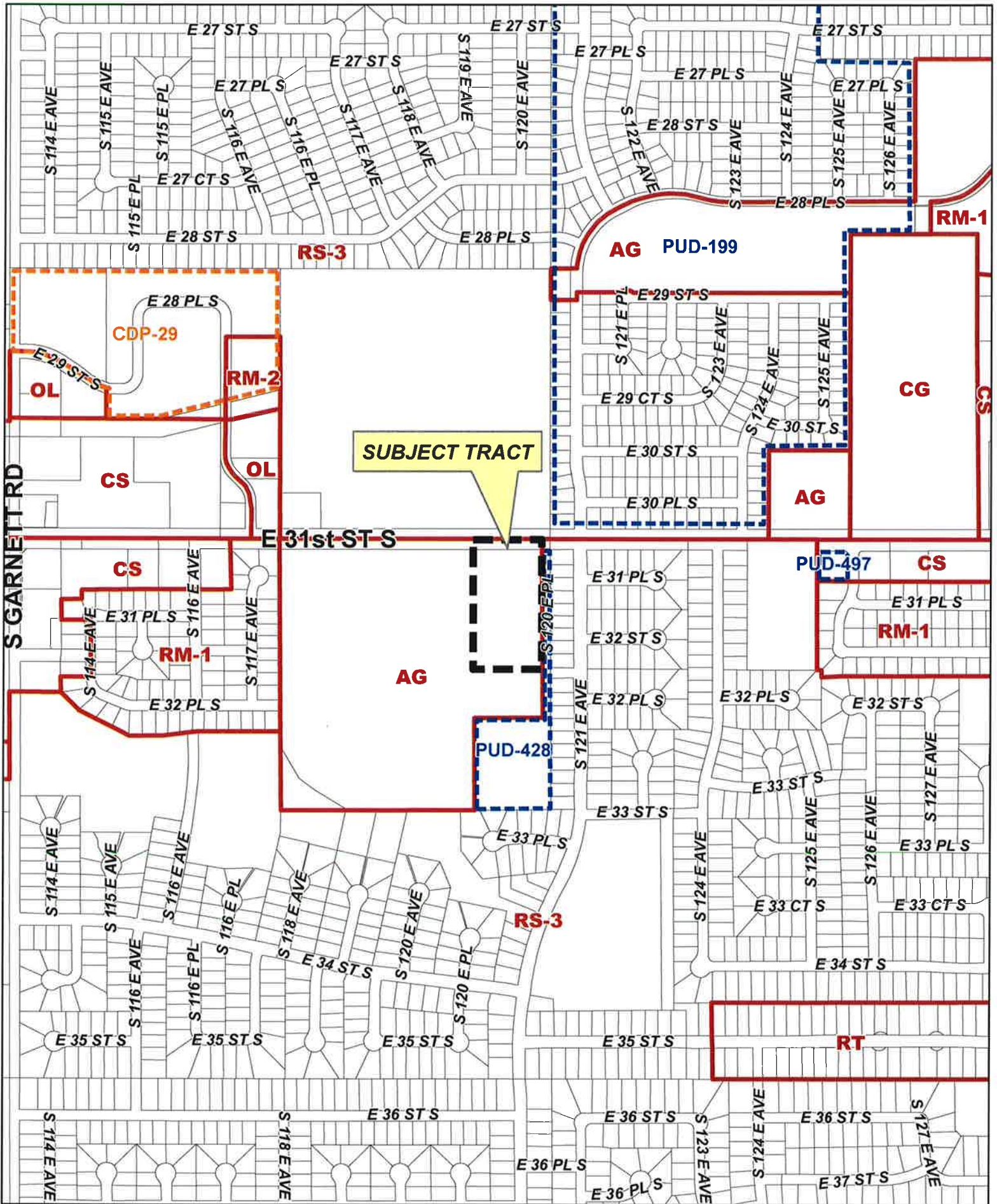
***Surrounding Property:***

**PUD-428/Z-6156 June 1987:** All concurred in **approval** of a proposed *Planned Unit Development* on a 4.65± acre tract of land for a senior development and all concurred in **approval** for *rezoning* from AG to RS-3 on property located south and west of the corner of East 31<sup>st</sup> Street South and South 120<sup>th</sup> East Place.

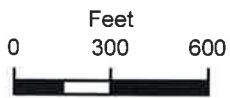
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S GARNETT RD



Z-7449

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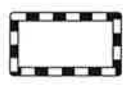
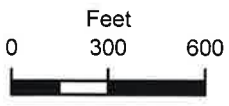




S GARNETT RD

E 31st ST S

S 120 E PL



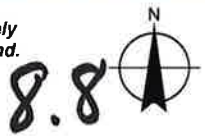
Subject Tract

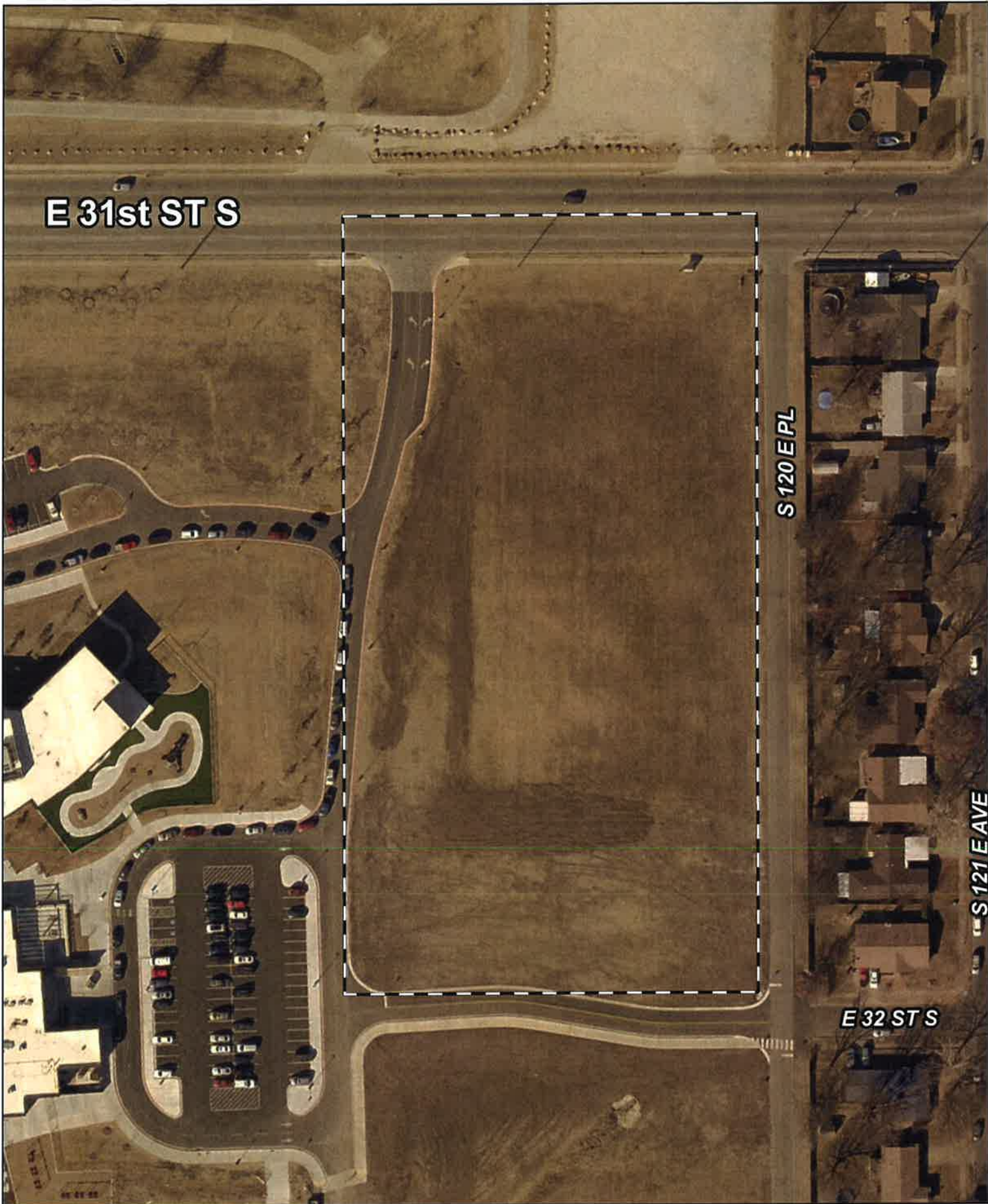
Z-7449

19-14 20

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018



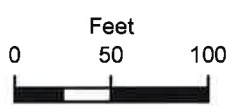


**E 31st ST S**

**S 120 EPL**

**S 121 EAVE**

**E 32 ST S**



**Subject Tract**

**Z-7449**

19-14 20

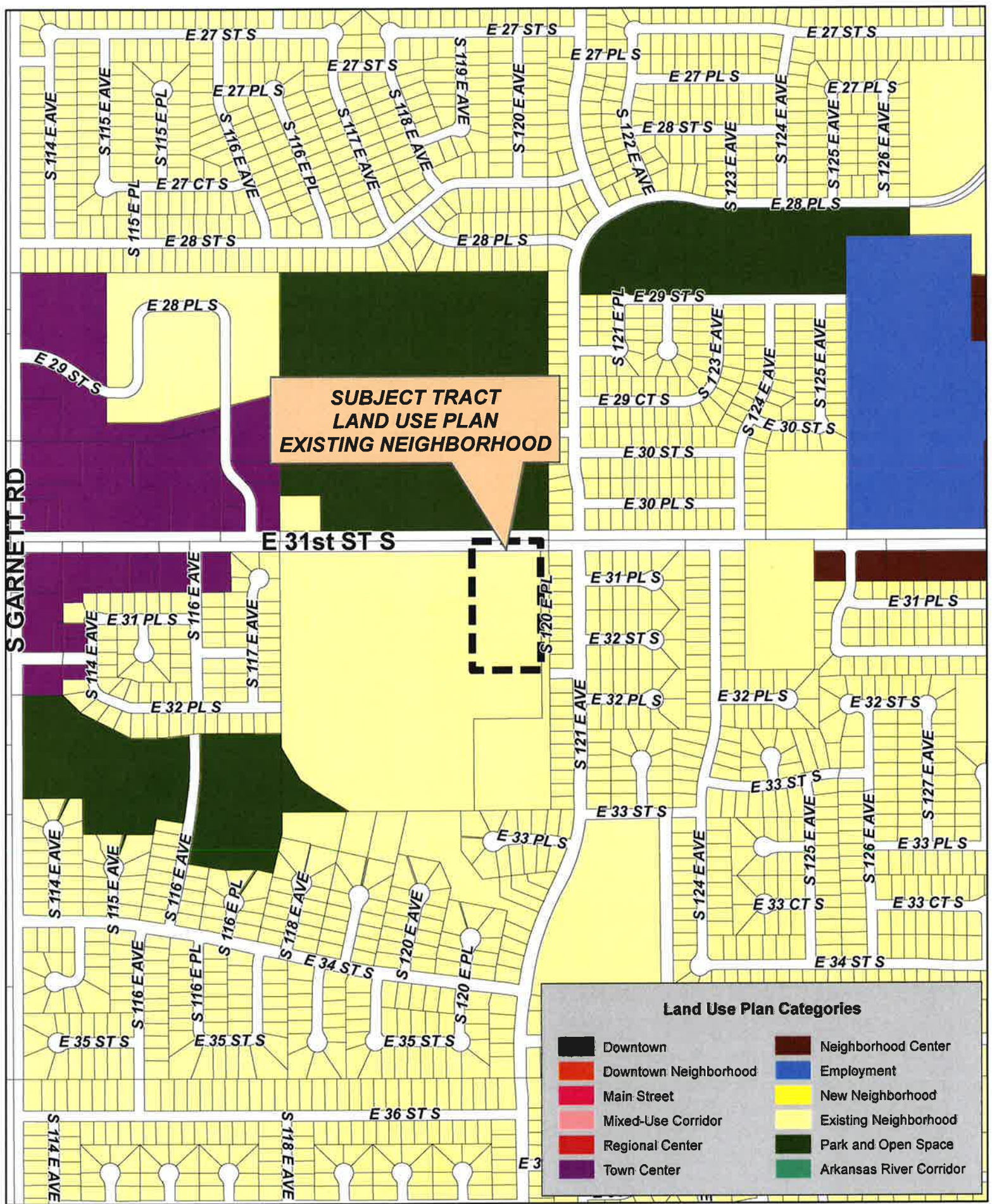
*Note: Graphic overlays may not precisely align with physical features on the ground.*

*Aerial Photo Date: February 2018*















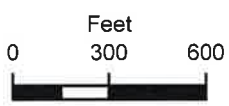
**SUBJECT TRACT  
LAND USE PLAN  
EXISTING NEIGHBORHOOD**

**S GARNETT RD**



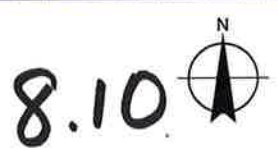
**Land Use Plan Categories**

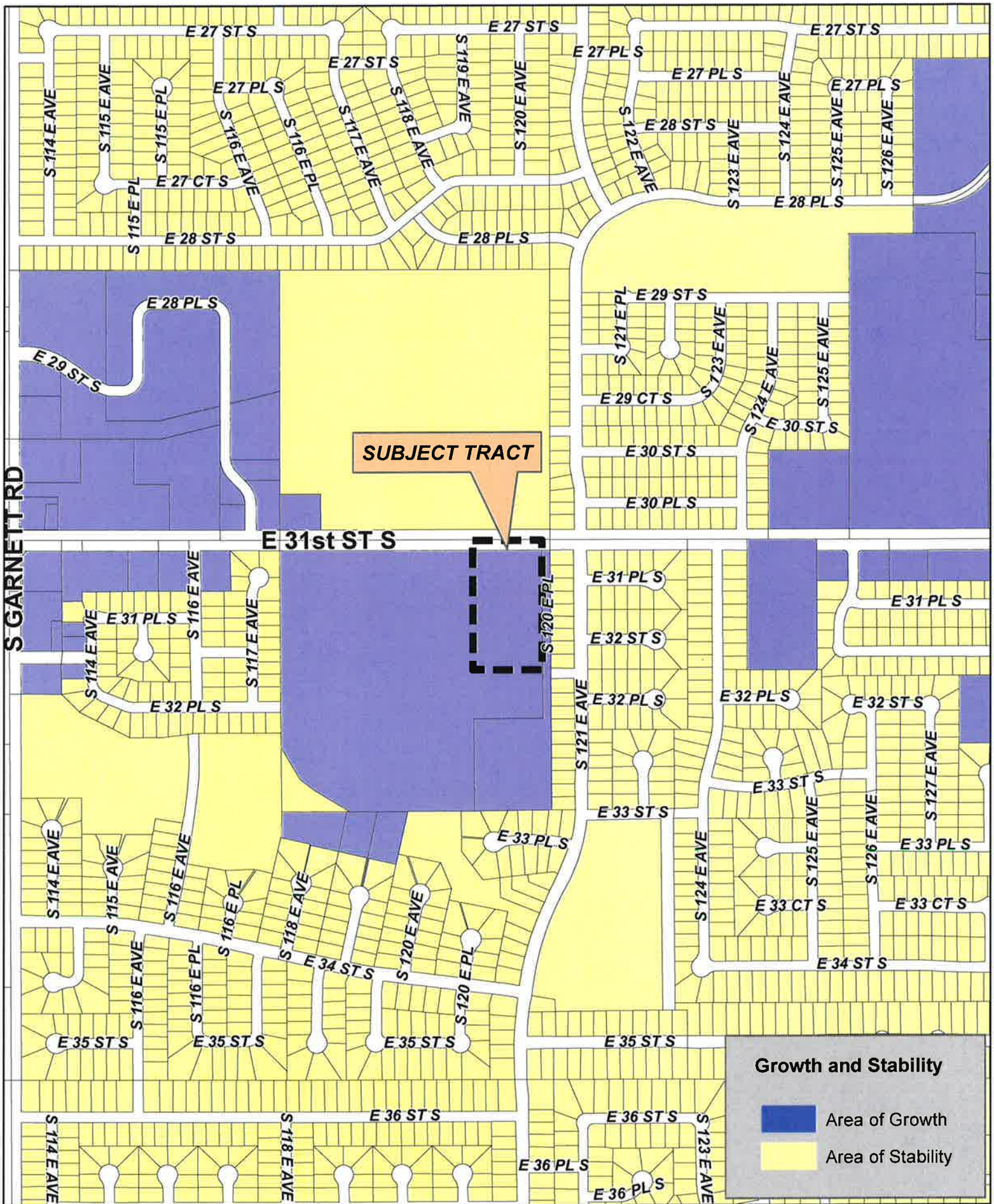
	Downtown		Neighborhood Center
	Downtown Neighborhood		Employment
	Main Street		New Neighborhood
	Mixed-Use Corridor		Existing Neighborhood
	Regional Center		Park and Open Space
	Town Center		Arkansas River Corridor



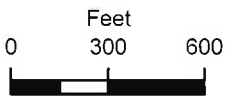
**Z-7449**

19-14 20





S GARNETT RD



Z-7449

19-14 20





**KKT ARCHITECTS, INC.**  
 2200 SOUTH UTICA PLACE, SUITE 200  
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CERTIFICATE OF AUTHORIZATION  
 NO. CA 5305 EXP. 06/30/2019



ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH CURRENT CITY OF TULSA STANDARDS AND SPECIFICATIONS (INCLUDING O.D.I., 2009 EDITION)

**COMMUNITY HEALTH CONNECTION**

TULSA, OKLAHOMA



6/20/2018

HORT SCALE	.	.
VERT SCALE	.	.
ATLAS PAGE NO.	.	.
MANAGER	.	ANW
DRAWN BY	.	TBW
DATE	.	6/20/2018
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**EXHIBIT A**



Tulsa Metropolitan Area  
Planning Commission

**Case Number: Z-7450**

**Hearing Date: August 1, 2018**

**Case Report Prepared by:**

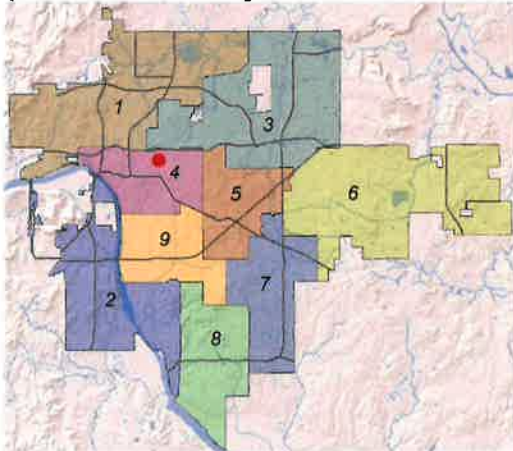
Dwayne Wilkerson

**Owner and Applicant Information:**

*Applicant:* Ted Sack

*Property Owner:* WEST PARK PHASE II LLC

**Location Map:  
(shown with City Council Districts)**



**Applicant Proposal:**

*Present Use:* Vacant

*Proposed Use:* Multifamily Housing

*Concept summary:* Rezoning to MX1-U-45 for Multi family housing similar to the redevelopment immediately north of this application.

*Tract Size:* 4.11 ± acres

*Location:* Northeast corner of South Lewis Avenue & East 6<sup>th</sup> Street South

**Zoning:**

*Existing Zoning:* RM-2,CS

*Proposed Zoning:* MX1-U-45

**Comprehensive Plan:**

*Land Use Map:* Mixed-Use Corridor, Existing Neighborhood

*Stability and Growth Map:* Area of Growth

**Staff Recommendation:**

**Staff recommends approval.**

**Staff Data:**

TRS: 9305

CZM: 37

Atlas: 28

**City Council District: 4**

*Councilor Name:* Blake Ewing

**County Commission District: 2**

*Commissioner Name:* Karen Keith

9.1

## SECTION I: Z-7450

### DEVELOPMENT CONCEPT:

#### EXHIBITS:

- INCOG Case map
- INCOG Aerial (small scale)
- INCOG Aerial (large scale)
- Tulsa Comprehensive Plan Land Use Map
- Tulsa Comprehensive Plan Areas of Stability and Growth Map
- Applicant Exhibits:
  - Preliminary Plat

#### DETAILED STAFF RECOMMENDATION:

Case Z-7450 requesting MX1-U-45 zoning is consistent with the expected development pattern in the and,

MX1-U-45 zoning is non-injurious to the surrounding property owners and,

MX1-U-45 zoning is consistent with the Existing Neighborhood land use vision identified the Tulsa Comprehensive Plan and,

MX1-U-45 zoning is consistent with the Kendall Whittier Small Area Plan therefore,

**Staff recommends Approval of Z-7450 to rezone property from RM-2,CS/ to MX1-U-45.**

## SECTION II: Supporting Documentation

### RELATIONSHIP TO THE COMPREHENSIVE PLAN:

*Staff Summary: The mixed-use zoning requested for is consistent with the expected small-scale infill project and mixed residential components of the Kendall Whittier Small area plan and the Tulsa Comprehensive Plan.*

#### Land Use Vision:

*Land Use Plan map designation:* Existing Neighborhood

The Existing Neighborhood category is intended to preserve and enhance Tulsa's existing single-family neighborhoods. Development activities in these areas should be limited to the rehabilitation, improvement or replacement of existing homes, and small-scale infill projects, as permitted through clear and objective setback, height, and other development standards of the zoning code. In cooperation with the existing community, the city should make improvements to sidewalks, bicycle routes, and transit so residents can better access parks, schools, churches, and other civic amenities.

*Areas of Stability and Growth designation:* Area of Growth

The purpose of Areas of Growth is to direct the allocation of resources and channel growth to where it will be beneficial and can best improve access to jobs, housing, and services with fewer and shorter auto trips. Areas of Growth are parts of the city where general agreement exists that development or redevelopment is beneficial. As steps are taken to plan for, and, in some cases, develop or redevelop these areas, ensuring that existing residents will not be



displaced is a high priority. A major goal is to increase economic activity in the area to benefit existing residents and businesses, and where necessary, provide the stimulus to redevelop.

Areas of Growth are found throughout Tulsa. These areas have many different characteristics but some of the more common traits are close proximity to or abutting an arterial street, major employment and industrial areas, or areas of the city with an abundance of vacant land. Also, several of the Areas of Growth are in or near downtown. Areas of Growth provide Tulsa with the opportunity to focus growth in a way that benefits the City as a whole. Development in these areas will provide housing choice and excellent access to efficient forms of transportation including walking, biking, transit, and the automobile.”

Transportation Vision:

*Major Street and Highway Plan:* None affecting site redevelopment

*Trail System Master Plan Considerations:* None affecting site redevelopment

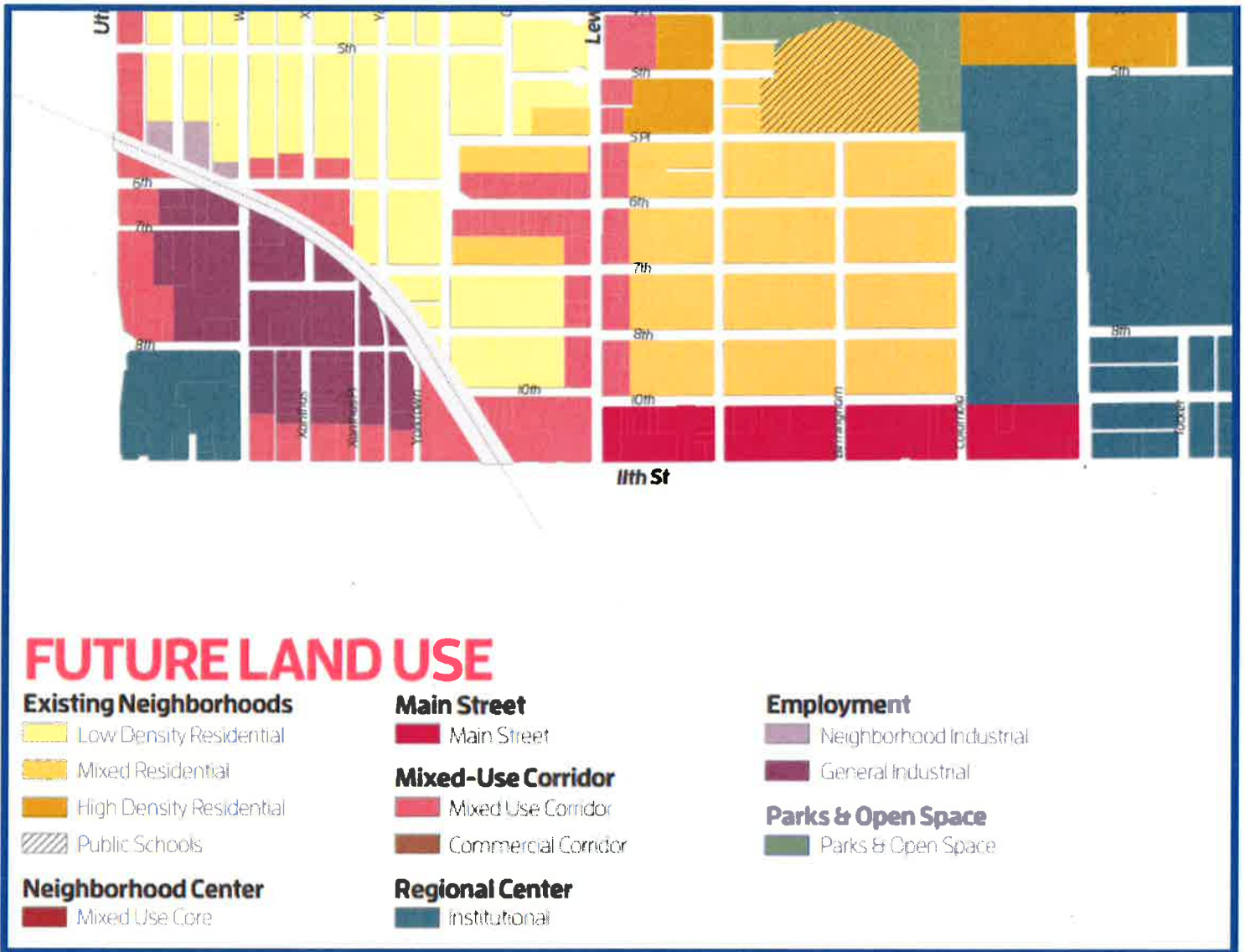
Sector Plan: This area is included in the Kendall-Whittier Sector Plan that was adopted November of 2016.

The small area plan provides a land use table demonstrating the relationship between the sector plan and the Tulsa Comprehensive plan. In this instance the existing neighborhood anticipated low, medium and high density residential uses. This mixed-use development is expected to be a medium density residential with some possible commercial or office component. At least two goals in the recognize the importance of high quality redevelopment opportunities in this area

Goal 1 in the plan recommends supporting the development of quality high-density residential development that appeals to a broad spectrum of potential tenants including students, seniors, young professionals and families of mixed incomes around the University of Tulsa.

Goal 4.2 specifically recognizes that senior and multifamily housing should be assessed on and approved on a case by case basis, especially in areas where it is expected to increase housing choice within Kendall Whittier and supports nearby commercial or public uses.

KENDALL WHITTIER SECTOR PLAN  
LAND USE MAP: (see next page)



**Special District Considerations:** None

**Historic Preservation Overlay:** None

***Staff Summary:** The site is vacant land. Previously the property was developed with a single family residential homes and an alley in the middle of the block. The surrounding properties have been developed with a mix of small scale multifamily and single family residential.*

**Environmental Considerations:** None that would affect site redevelopment

**Streets:**

Exist. Access	MSHP Design	MSHP R/W	Exist. # Lanes
6 <sup>th</sup> Street South	Residential Collector	60 feet	4 lanes (2 through lanes with additional lanes for on street parking)
5 <sup>th</sup> Street South	None	50 feet	2 lanes

9.4

South Lewis Avenue	Urban Arterial	75 feet	4 lanes
South Atlanta Avenue East	None	50 feet	2 lanes

Utilities:

The subject tract has municipal water and sewer available.

Surrounding Properties:

Location	Existing Zoning	Existing Land Use Designation	Area of Stability or Growth	Existing Use
North	RM-2 with CH along Lewis	Mixed Use Corridor and Existing Neighborhood	Growth	Multi family
East	RM-2	Existing Neighborhood	Growth	Multi Family and Single family
South	MX-1-U-45 with CS abutting Lewis	Mixed Use Corridor and Existing Neighborhood	Growth	Office, Vacant and Multi Family
West	CS	Mixed Use Corridor and Existing Neighborhood	Growth	Office and Church

**SECTION III: Relevant Zoning History**

**ZONING ORDINANCE:** Ordinance number 11815 dated June 26, 1970, established zoning for the subject property.

**Subject Property:** No relevant history

**Surrounding Property:**

**Z-7436 May 2018:** All concurred in **approval** of a request for *rezoning* a 1.21± acre tract of land from RM-2 to MX1-U-45 for mixed-use development on property located east of the southeast corner of South Lewis Avenue and East 6<sup>th</sup> Street South.

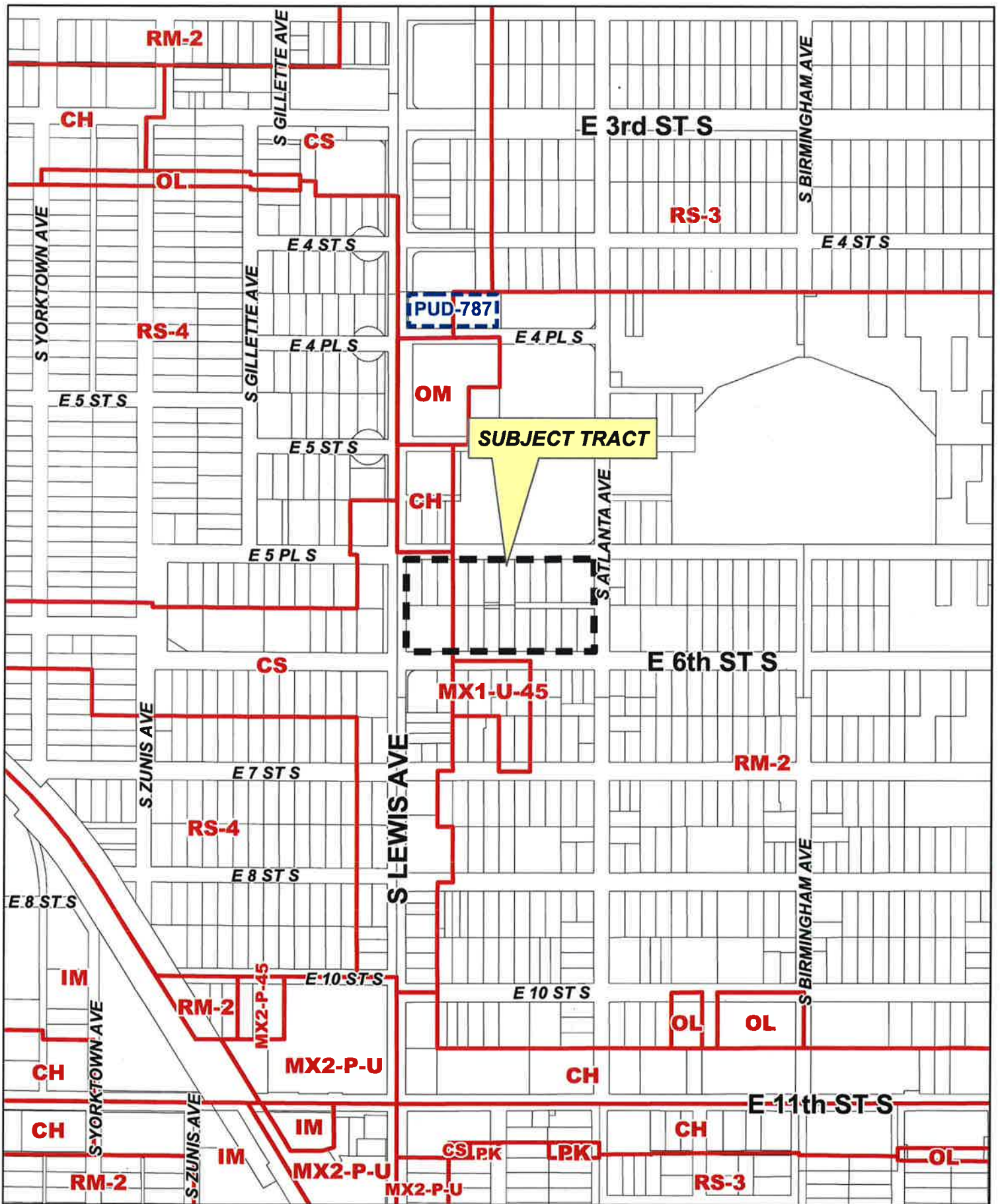
**Z-7405 November 2017:** All concurred in **approval** of a request for *rezoning* an 8.29± acre tract of land from RM-2/OL/CH/IM to MX2-P-U/MX2-P-45, on property located on the northwest corner and the southwest corner and south of the southeast corner of East 11th Street and South Lewis Avenue.

**BOA-21334 November 8, 2011:** The Board of Adjustment **approved** a *variance* of height limitation from 35 ft. to 44 ft.; and a *variance* of required parking from 200 spaces to 192 spaces, on property located east of the northeast corner of East 5<sup>th</sup> Place South and South Lewis Avenue.

8/1/2018 1:30 PM

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REVISED 7/25/2018



PUD-787

SUBJECT TRACT

MX1-U-45

CS/PRK LPK

Z-7450

19-13 05



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Subject Tract

**Z-7450**

19-13 05

Note: Graphic overlays may not precisely align with physical features on the ground.

Aerial Photo Date: February 2018



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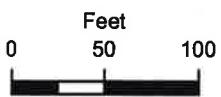


S LEWIS AVE

E 5th St S

E 6th St S

S ATLANTA AVE



 Subject Tract

**Z-7450**

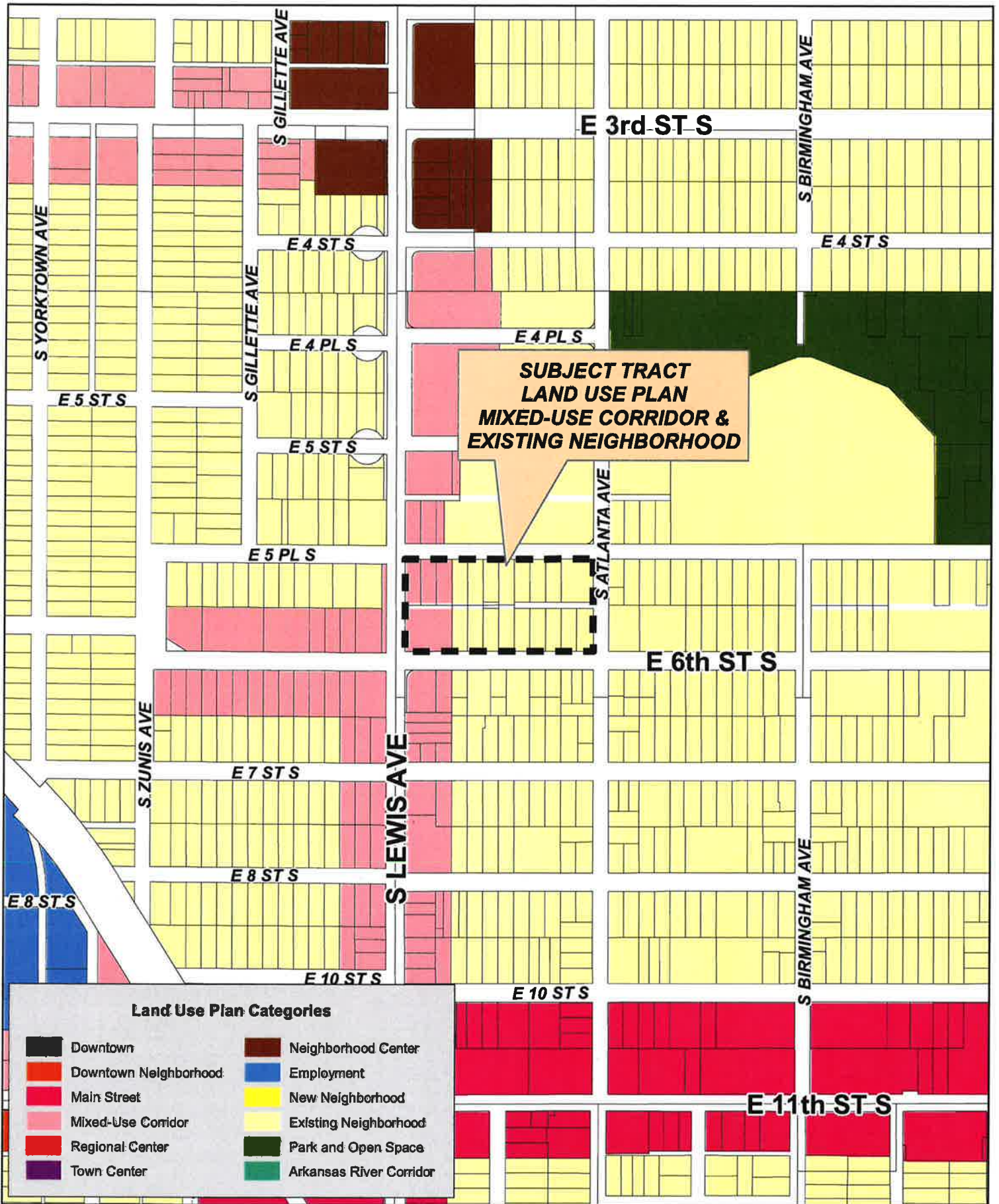
19-13 05

*Note: Graphic overlays may not precisely align with physical features on the ground.*

*Aerial Photo Date: February 2018*



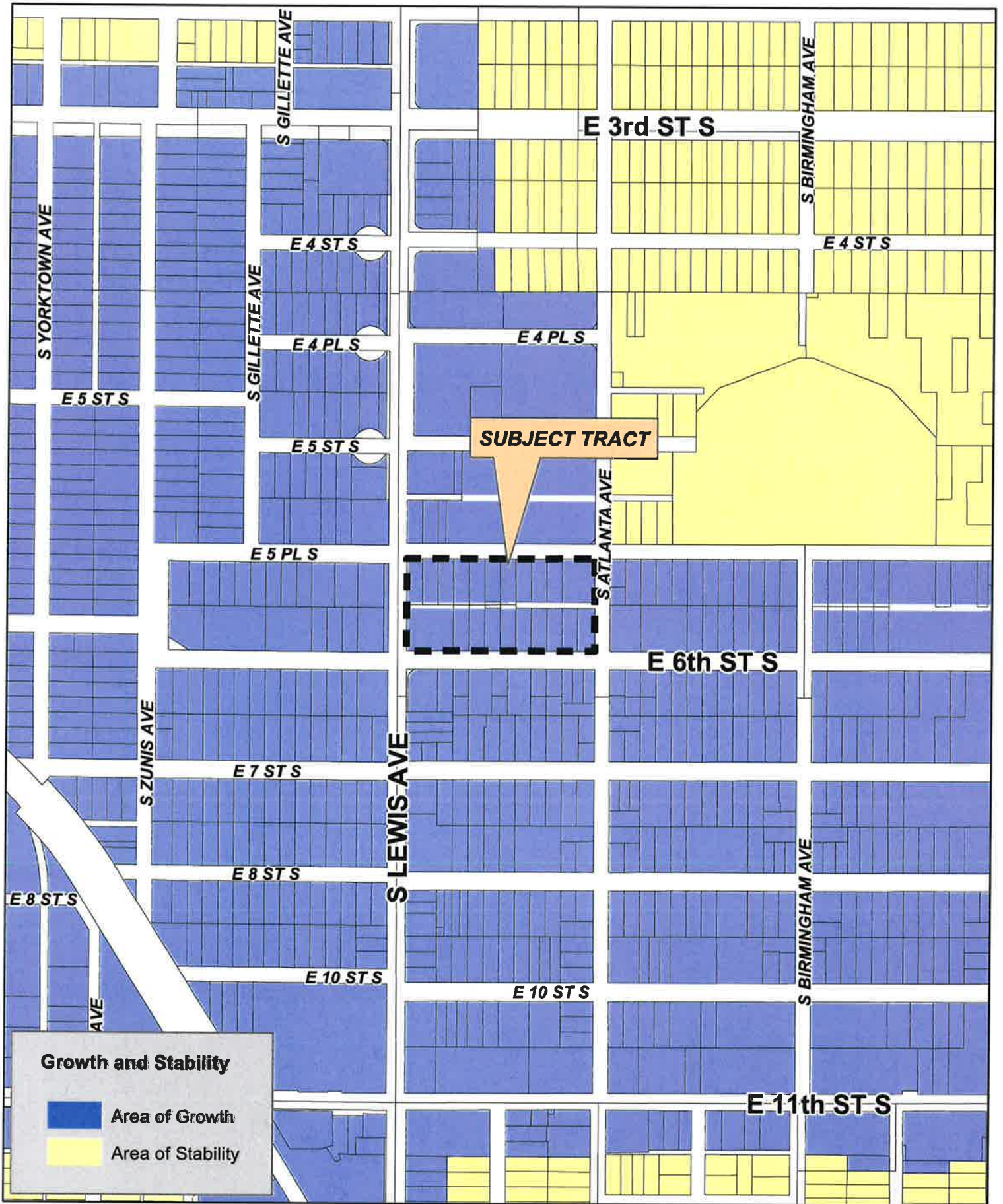
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Z-7450

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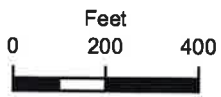




**SUBJECT TRACT**

**Growth and Stability**

- Area of Growth
- Area of Stability



**Z-7450**

19-13 05

9.10





